

RESIDENTIAL REMODEL

1726 CALLE BOCA DEL CANON, SANTA BARBARA, CA



SI- SPECIAL INSPECTIONS & STRUCTURAL OBSERVATIONS

- 1.0 ALL SPECIAL INSPECTIONS SHALL CONFORM TO CHAPTER 17 OF THE CALIFORNIA BUILDING CODE
- 2.0 CONTRACTOR TO OBTAIN APPROPRIATE SPECIAL INSPECTION/OBSERVATION REPORT DOCUMENTATION PRIOR TO REQUESTING AN INSPECTION BY THE LOCAL BUILDING AUTHORITY
- 3.0 SOILS ENGINEER TO OBSERVE FOOTING EXCAVATIONS PRIOR TO PLACEMENT OF STEEL
- 4.0 STEEL - PERIODIC SPECIAL INSPECTION REQUIRED FOR SINGLE-PASS FILLET WELDS <= 5/16". EXCEPTION: WORK PERFORMED ON THE PREMISES OF A FABRICATOR AUTHORIZED TO DO SO WITHOUT SPECIAL INSPECTION
- 5.0 ALL OTHER "STRUCTURAL" WELDING TO BE DONE AT AN AUTHORIZED FACILITY
- 6.0 MASONRY - PERIODIC SPECIAL INSPECTION REQUIRED OF STEEL REINFORCEMENT
- 7.0 WINDWARD TO OBSERVE REINFORCEMENT STEEL PRIOR TO CONCRETE PLACEMENT
- 8.0 WINDWARD TO OBSERVE FRAMING & SHEAR WALL NAILING AFTER PLUMBING, MECHANICAL & ELECTRICAL ROUGH-IN WORK HAS BEEN COMPLETED
- 9.0 EPOXY - UNO, PERIODIC INSPECTION REQUIRED FOR RETROFITTED ANCHOR BOLTS (5-S-504 - CONC-EPOXY ANCHOR BOLT) OR DOWELS (6-S-504 - CONC-DOWELS)
- 10.0 WINDWARD TO OBSERVE STORMWATER PIPE AND INFILTRATION PLACEMENT AT SUBSURFACE DETENTION ZONE
- 11.0 WINDWARD TO OBSERVE STORMWATER SYSTEM AT PROJECT FINAL
- 12.0 CALL 48 HOURS IN ADVANCE TO SCHEDULE INSPECTIONS

BMP- STORMWATER BEST MANAGEMENT PRACTICES

- 1.0 DETAILED INFORMATION RELATING TO THE BEST MANAGEMENT PRACTICES SPECIFIED BELOW AND ELSEWHERE WITHIN THIS DOCUMENT CAN BE FOUND IN THE CALIFORNIA STORMWATER BMP HANDBOOK; AVAILABLE FOR DOWNLOAD AT WWW.CABMPHANDBOOKS.COM & http://www.dot.ca.gov/hq/construct/stormwater/manuals.htm
- 2.0 GENERAL CONTRACTORS/CONTRACTORS AS APPLICABLE ARE RESPONSIBLE FOR THE TRAINING OF PERSONNEL IN THE PROPER DISPOSITION OF CONSTRUCTION WASTE & IMPLEMENTATION OF BMPs
- 3.0 ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
- 4.0 STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- 5.0 FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- 6.0 EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS MUST BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS A SOLID WASTE.
- 7.0 TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- 8.0 SEDIMENTS AND OTHER MATERIAL MAY NOT BE TRACED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- 9.0 ANY SLOPES WITH DISTURBED SOILS OR DEMANDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER
- 10.0 PRESERVE EXISTING VEGETATION AT AREAS ON THE SITE WHERE NO CONSTRUCTION ACTIVITY IS PLANNED OR WILL OCCUR AT A LATER DATE
- 11.0 WATER USED DURING CONSTRUCTION ACTIVITIES IS TO BE USED IN A MANNER THAT AVOIDS CAUSING EROSION AND/OR THAT TRANSPORTS POLLUTANTS OFF SITE
- 12.0 DO NOT CLEAN, FUEL, OR MAINTAIN VEHICLES ON-SITE, EXCEPT IN DESIGNATED AREA WHERE WASH WATER IS CONTAINED & TREATED

SPECIAL INSPECTION AGENCIES

PACIFIC MATERIALS LABORATORIES
35 SOUTH LA PALMERA LANE
GOLETA, CALIFORNIA 93117
TEL: 805.964.6901
FAX: 805.964.6239

EARTH SYSTEMS PACIFIC
2049 PREISKER LANE, STE E
SANTA MARIA, CA 93454
TEL: 805.928.2991
FAX: 805.928.9253

GN- GENERAL NOTES

- 1.0 ALL CONSTRUCTION SHALL CONFORM TO THE 2019 CBC, 2019 CRC, 2019 CMC, 2019 CEC, 2019 CPC, 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE, 2019 CFC, 2019 CA ENERGY COMMISSION STANDARDS & ALL CITY OF SANTA BARBARA AMENDMENTS AS ADOPTED IN SANTA BARBARA CITY ORDINANCE 5780
- 2.0 UNLESS NOTED OTHERWISE, ALL MATERIALS AND EQUIPMENT TO BE INSTALLED PER THE APPLICABLE PROVISIONS OF THESE DOCUMENTS AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS
- 3.0 THESE DOCUMENTS CONVEY MINIMUM CONSTRUCTION REQUIREMENTS AND ARE TO BE USED WHERE THE APPLICABLE CONDITIONS OCCUR. MORE STRINGENT REQUIREMENTS STIPULATED WITHIN RELEVANT MANUFACTURER'S INSTALLATION INSTRUCTIONS WILL SUPERSEDE
- 4.0 ALL WORK TO BE PERFORMED BY LICENSED & INSURED CONTRACTOR
- 5.0 THE CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS, AND TECHNIQUES FOR CONSTRUCTION
- 6.0 ALL OSHA REGULATIONS SHALL BE FOLLOWED. GENERAL CONTRACTOR & EACH SUB-CONTRACTOR RESPONSIBLE FOR JOB-SITE SAFETY
- 7.0 EACH SUBCONTRACTOR IS RESPONSIBLE FOR DEPOSITING DEBRIS RESULTING FROM THEIR WORK IN THE JOB-SITE CONTAINER
- 8.0 ALL DIMENSIONS, UNLESS OTHERWISE INDICATED, ARE TO FACE OF STUD, CONCRETE, OR MASONRY
- 9.0 SEE FORMS CF-1R & MF-1R SPECIFYING THE REQUIRED/MANDATORY ENERGY FEATURES FOR: WALL/CEILING INSULATION, WINDOW AREAS AND TYPES, HVAC SYSTEMS AND EFFICIENCY, DUCT INSULATION AND TESTING, LIGHTING TYPE AND SWITCHING, AND PIPE/HEATER INSULATION. PROVIDE COMPLETED FORM CF-6R UPON FINAL INSTALLATION OF ALL ENERGY SYSTEMS
- 10.0 PROJECTS WITH ZONING MODIFICATION APPROVALS, WITHIN 12" OF A SETBACK, OR WHERE CONDITIONS WARRANT, MAY REQUIRE A SURVEY TO VERIFY PROPOSED FOOTPRINT OF THE STRUCTURE PRIOR TO FOOTING INSPECTION. PROVIDE SURVEYOR VERIFICATION TO INSPECTOR IF REQUESTED BY BUILDING OFFICIAL
- 11.0 UNO, ALL REFERENCED STRUCTURAL HARDWARE TO BE FROM SIMPSON STRONG-TIE (ESR-2523)
- 12.0 AT THE TIME OF FINAL INSPECTION, AN OPERATION AND MAINTENANCE MANUAL, COMPACT DISC, OR WEB BASED REFERENCE SHALL BE PLACED IN THE BUILDING. THE MANUAL SHALL INCLUDE ALL OF THE ITEMS LISTED ON THE CALIFORNIA GREEN BUILDING STANDARDS CODE SECTION 4.410.1 [CGBSC 4.410]

PROJECT DATA

SCOPE OF WORK -

PERMIT THE FOLLOWING ITEMS PER ENF2019-00310
-ENCLOSE ENTRY PORCH
-CONVERT 1-CAR GARAGE TO HABITABLE SPACE
-REPLACE ALL WINDOWS AND DOORS THROUGHOUT
-(N) ELECTRICAL WIRING, SUBPANEL, SWITCHES, RECEPTACLES, AND LIGHTING THROUGHOUT
-INSTALL (N) PLUMBING LINES THROUGHOUT
-INSULATE ROOF AND ALL EXTERIOR WALLS
-DEMOLISH REAR DECK AND ROOF OVERHANG
-CREATE NEW REAR DECK WITH SHED ROOF COVER ABOVE AND STORAGE SPACE BELOW
-CONSTRUCT (N) ENTERTAINING PATIO WITH GAS FIREPIT AND SITE WALLS IN REAR YARD
-NEW TWO CAR GARAGE

MITIGATE FOLLOWING VIOLATIONS FROM ENF2019-00310
-REMOVE AS-BUILT PATIO COVER WITHIN THE SETBACK
-RETROFIT PORTION OF AS-BUILT RETAINING WALL ALONG REAR PROPERTY LINE

PERMIT THE FOLLOWING AS-BUILT CONSTRUCTION
-CREATE LAUNDRY ROOM WITHIN HOUSE (NO ADDT SF)
-DEMO FLAT CEILINGS TO CREATE VAULTED ROOMS
-REMODEL KITCHEN AND 2 BATHS
-ADD PRIVACY FENCE TO FRONT YARD
-INSTALL TANKLESS WATER HEATER

LOCATION: 1726 CALLE BOCA DEL CANON	OCCUPANCY CLASSIFICATION (E): R-3
APN: 041-062-021	OCCUPANCY CLASSIFICATION (P): R-3
JURISDICTION: CITY OF SANTA BARBARA	CONSTRUCTION TYPE: V-B
LAND USE ZONE: RS-6	SPINKLERS: NO
LOT SIZE: 6,730 SF	STORIES: 1
AVERAGE SLOPE OF PROPERTY: 26 %	HEIGHT: 12' 11 1/16"
HILLSIDE DESIGN DIST: YES	HIGH FIRE HAZARD AREA: NO
FLOOD ZONE: NO	OPEN YARD: 1,275
PARKING SPACES:	EXISTING PROPOSED REQUIRED BY CODE
PRIMARY RESIDENCE	(E) 1 COVERED 2 COVERED 2 COVERED SPACES

PROJECT STATISTICS-	TYPE	STATUS	LEVEL	DESCRIPTION	NET SF	GROSS SF
HABITABLE	Existing	1ST-FLR	(R)	RESIDENCE	1,042	1,140
					1,042 sq ft	1,140 sq ft
	New	1ST-FLR		ADDITION	105	111
	New	1ST-FLR		CONVERSION	263	292
					368 sq ft	403 sq ft
NON-HABITABLE	New	1ST-FLR	(N)	2-CAR GARAGE	448	477
					448 sq ft	477 sq ft

PROJECT DESIGN TEAM

CLIENT:
JIM MARTIN
1726 CALLE BOCA DEL CANON
SANTA BARBARA, CA 93101
EMAIL: JIMMARTINSCULPTURE@COX.NET

PLANS AND ENGINEERING:
WINDWARD DESIGN SERVICES, LLC
1825 STATE ST. SUITE 102
SANTA BARBARA, CA 93101
EMAIL: KEN@WINDWARDENG.COM
TEL: 805.845.6601

F.A.R. Calculator

Instructions: Enter the information in the white boxes below. The spreadsheet will calculate the proposed FAR (floor area ratio), the 100% use FAR (per the Zoning Ordinance), and the 80% use FAR (per the Zoning Ordinance). Additionally, it will determine whether a FAR reduction is required.

The Net Lot Area does not include any Public Road Elements or Public Right-of-Way areas. The proposed TOTAL Net FAR Floor Area shall include the net floor area of all stories of all buildings, but may or may not include basement/cellar floor area. For further clarification on these guidelines please refer to SBMC 15.15.02.

ENTER Project Address:	1726 CALLE BOCA DEL CANON
Is there a basement or cellar existing or proposed?	No
ENTER Proposed TOTAL Net FAR Floor Area (in sq. ft.):	2,020

ENTER Zone ONLY from drop-down list:	OTHER
ENTER Net Lot Area (in sq. ft.):	6,730
Is the height of existing or proposed buildings 17 feet or greater?	Yes
Are existing or proposed buildings two stories or greater?	No
The FAR Requirements are:	GUIDELINE**

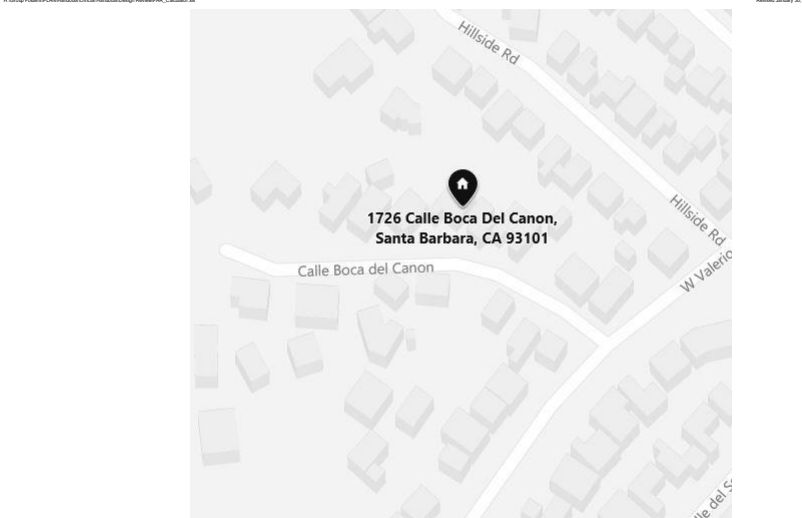
ENTER Average Slope of Lot:	26.00%
Does the height of existing or proposed buildings exceed 25 feet?	No
Is the site in the Hillside Design District?	Yes
Does the project include 500 or more cu. yds. of grading outside the main building footprint?	No
An FAR MOD is not required per SBMC §28.15	

FLOOR AREA RATIO (FAR):	0.300
Lot Size Range:	4,000 - 9,999 sq. ft.
MAX FAR Calculation (in sq. ft.):	1,200 * (0.25 x lot size in sq. ft.)
100% MAX FAR:	0.428
100% MAX FAR (in sq. ft.):	2,883
85% of MAX FAR (in sq. ft.):	2,450
80% of MAX FAR (in sq. ft.):	2,306
The 2020 square foot proposed total is 71% of the MAX FAR.*	

*80%: Percentage total is rounded up.

**NOTE: If your project is located on a site with multiple or overlay zones, please contact Planning Staff to confirm whether the FAR limitations are "Required" or "Guideline".

acreage Conversion Calculator	
ENTER Acreage to Convert to square footage:	1.00
Net Lot Area (in sq. ft.):	43560



VICINITY MAP

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PROJECT

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SANTA BARBARA, CA 93101

CLIENT

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1726 CALLE BOCA DEL CANON
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DATE: 5/11/2020

DATES

01/23/2020	SFDB
02/20/2020	MOD
05/11/2020	SFDB

SCALE AS NOTED

CREATED BY: WDS

SHEET

GENERAL

G-001



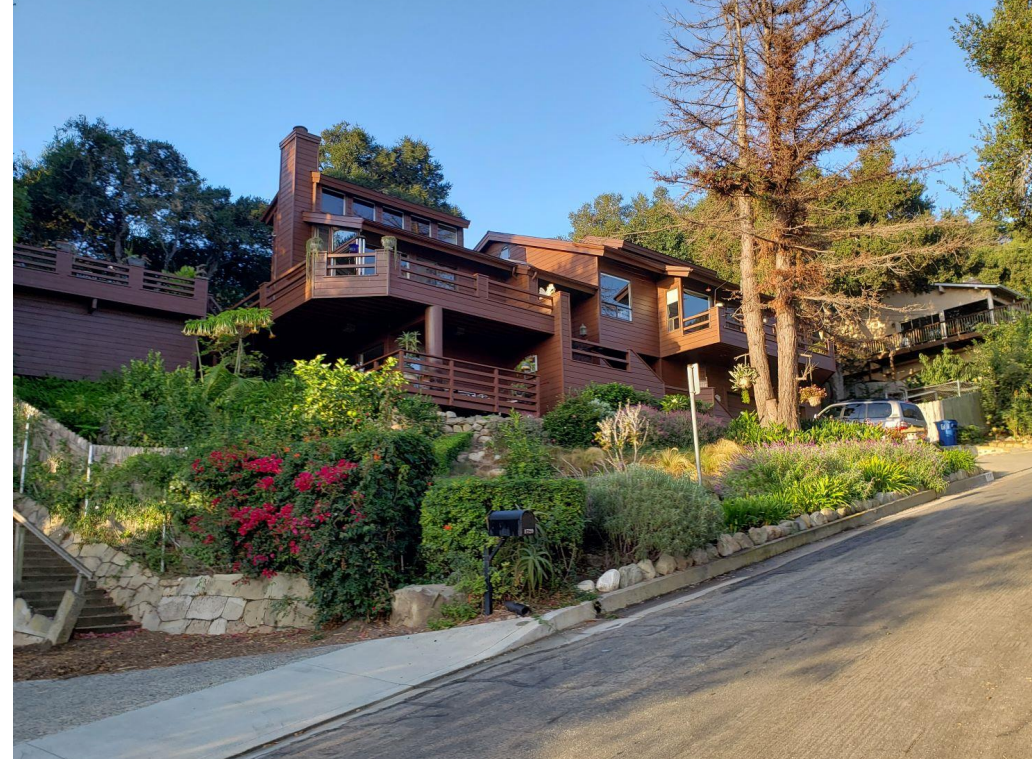
1758 CALLE BOCA DEL CANON



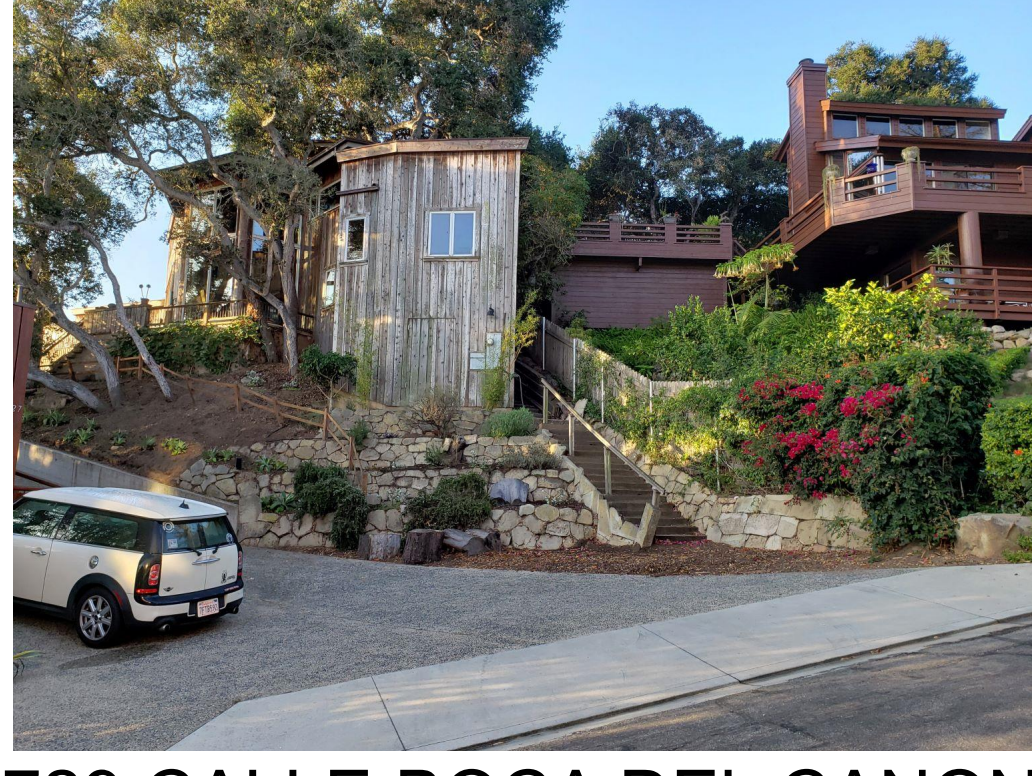
1755 CALLE BOCA DEL CANON



1743 CALLE BOCA DEL CANON



1741 CALLE BOCA DEL CANON



1729 CALLE BOCA DEL CANON



1730 CALLE BOCA DEL CANON



1727 CALLE BOCA DEL CANON



1721 CALLE BOCA DEL CANON



1720 CALLE BOCA DEL CANON



1716 CALLE BOCA DEL CANON



(E) DRIVEWAY VIEW FROM STREET



(E) EAST NEIGHBOR, (E) STONE



(E) EAST NEIGHBOR



(E) WEST NEIGHBOR



(E) DRIVEWAY VIEW FROM STREET



(E) EAST NEIGHBOR



(E) WEST NEIGHBOR

1726 CALLE BOCA
DEL CANON

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AREAS STORMWATER			
DESCRIPTION	AREA	STATUS	TYPE
BR1	39	Existing	
BR1	59	Existing	
BR1	192	Existing	
BR2	78	Existing	
LOT	6,568	New	LOT
R1-E	824	Existing	ROOF RUNOFF
R2-E	891	Existing	ROOF RUNOFF

KEYNOTES -

- K01 RETENTION PER #DrgID(ref)-#LayID(ref) - #Drawing Name ref. PROVIDE MIN XXX-SF POOL ZONE @ 1-FT DEEP WITH XXX-SF SUB-SURFACE ZONE @ 3-FT DEEP
- K02 OVERFLOW DAYLIGHT. PROTECT ADJACENT GRADE WITH PLANTINGS OR RIP-RAP
- K03 PER 9-C-503 - CIVIL- STORM DRAIN TO RIP-RAP
- K04 RIP-RAP AT RETAINING WALL FRENCH DRAIN OUTLET. PROVIDE PROTECTION FROM RODENT INFILTRATION
- K04 CURB CUT

GENERAL NOTES -

- G01 UNO PER PLAN, 'DAYLIGHT' ALL DOWNSPOUTS PER 7-C-501-CIVIL-DISCONNECTED DOWNSPOUT. DIRECT RUNOFF TO CATCH BASINS
- G02 DIRECT SURFACE RUNOFF TO CATCH BASINS
- G03 ROUTE RUNOFF FROM IMPERMEABLE SURFACES SUCH AS ROOF, WALK, & DRIVEWAY AREAS TO BIORETENTION AREA(S)
- G04 UNO CATCH BASINS TO BE NDS900 MODEL W/ PIPE INVERT (-.7) OR NDS1200 MODEL W/ PIPE INVERT (-1.1) ALTERNATE CATCH BASINS MUST BE EQUIVELANT TO SPECIFIED NDS UNIT

STORMWATER SYSTEM OBSERVATIONS

- 1.0 WINDWARD TO OBSERVE STORMWATER PIPE AND INFILTRATION PLACEMENT AT SUBSURFACE DETENTION ZONE
- 2.0 WINDWARD TO OBSERVE STORMWATER SYSTEM AT PROJECT FINAL. WINDWARD TO PROVIDE STAMPED LETTER AT COMPLETION OF PROJECT STIPULATING THAT THE STORMWATER SYSTEM HAS BEEN INSTALLED AS APPROVED & THAT IT COMPLIES WITH LOCAL REQUIREMENTS
- 3.0 CALL 48 HOURS IN ADVANCE TO SCHEDULE INSPECTIONS

STORMWATER SCOPE OF WORK

- 1.0 PROVIDE. BIORETENTION TREATMENT AREA(S) AS INDICATED
- 2.0 INSTALL DETENTION ZONES AS INDICATED

SITE PLAN LEGEND	
	AREA OF ADDITION
	AREA OF REMODEL
	AREA OF OPEN YARD
	AREA DRAIN
	BACKFLOW PREVENTION
	BALL VALVE
	BIO RETENTION BASIN
	BIO RETENTION INVERT
	BIO RETENTION OVERFLOW
	CATCH BASIN
	CHANNEL/TRENCH DRAIN
	CLEANOUT
	CMU
	CUT
	DECOMPOSED GRANITE
	DECK DRAIN
	DEMOLISH
	DETENTION ZONE (DZ)
	DETENTION ZONE INVERT
	DOWNSPOUT
	DRAINAGE SLOPE
	DRIP IRRIGATION
	EASEMENT
	ELECTRIC METER
	ELEVATION (DEMO)
	ELEVATION (E)
	ELEVATION (N)
	ELECTROPHONE/ATV
	EXCAVATE & COMPACT (E&C)
	EXCAVATION DEPTH
	FIBER ROLL
	FILL
	FINISHED FLOOR ELEVATION
	FINISHED GRADE ELEVATION
	FIRE HYDRANT
	FREEBOARD
	GAS METER
	GAS PIPE
	GROUND VAULT
	HANDHOLE
	LANDSCAPE
	LIMIT OF DISTURBED AREA
	OVERFLOW INVERT
	OVERHEAD WIRES
	PAVER
	PER ARCH PLAN
	PER LANDSCAPE PLAN
	PIPE INVERT
	POWER POLE
	PROPERTY LINE
	REDUCED PRESSURE
	REDUCED PRESSURE/BACKFLOW PREVENTION
	RIP-RAP TO PREVENT EROSION
	ROUGH GRADE ELEVATION
	SELF RETAINING
	SELF TREATING
	SETBACK
	SEWER MANHOLE
	SEWER SANITARY
	SHUTOFF VALVE
	SIDEWALK
	SILT FENCE
	SLOPE OF GRADE 5% MIN FOR 10-FT AT FOUNDATION
	SPILLWAY INVERT
	SPOT ELEVATION (E)
	SPOT ELEVATION (N)
	STORM DRAIN MANHOLE
	STORMWATER (E)
	STORMWATER (N)
	SUBGRADE
	TOP OF CURB
	TOP OF DECK
	TOP OF FENCE
	TOP OF GRATE
	TOP OF PAVEMENT (BT, CONC, TLE, ETC)
	TOP OF WALL
	UPPER DOWNSPOUT
	UNLESS NOTED OTHERWISE
	WATER METER
	WATER SUPPLY PIPE COLD
	WATER SUPPLY PIPE HOT
	WALL DRAIN
	WETTED INVERT

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REGISTERED PROFESSIONAL ENGINEER

STEVEN C REICHEL

61155

RENEWAL-397721

CIVIL

STATE OF CALIFORNIA

DATE: 5/11/2020

DATES

01/16/2020

INITIAL

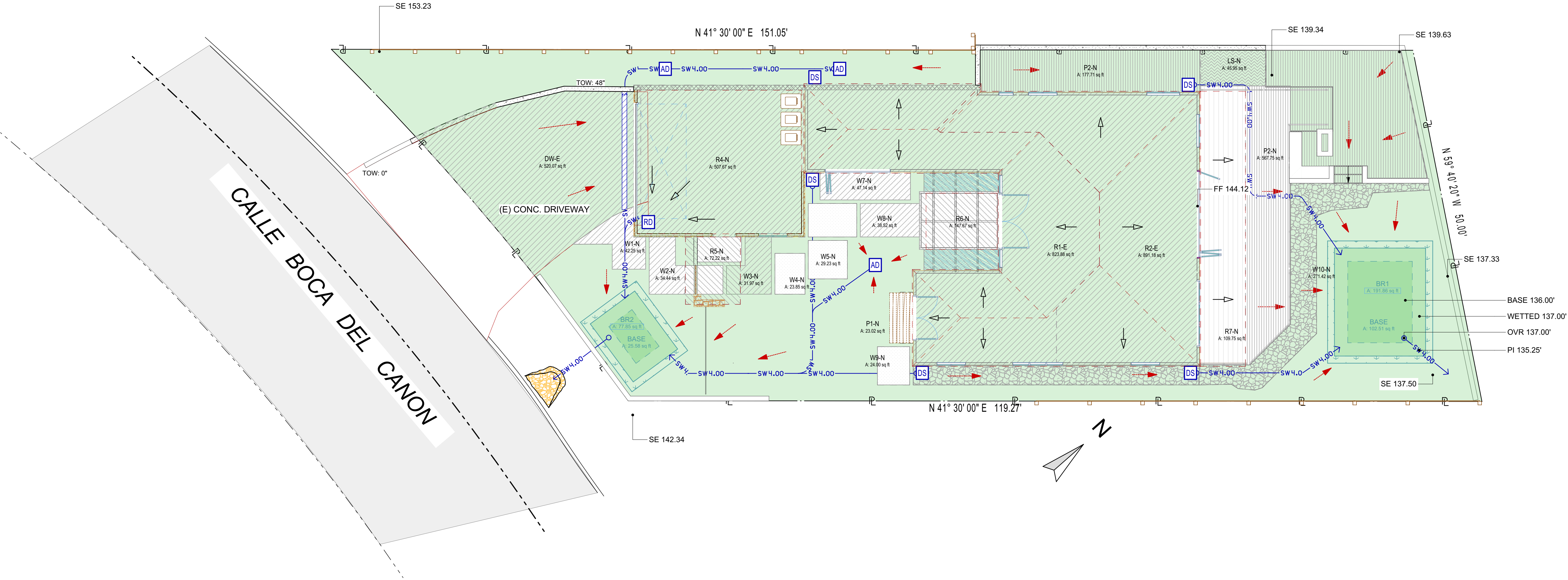
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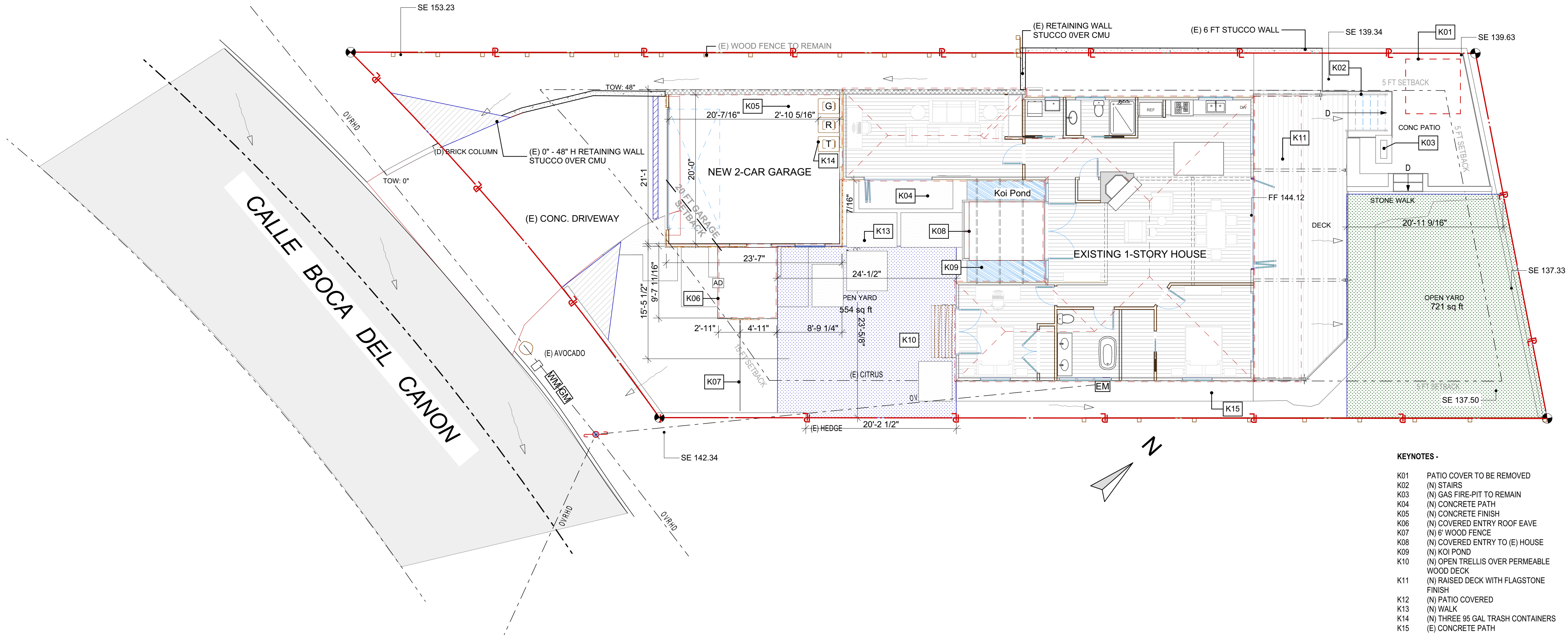
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SHEET

STORM WATER PLAN

C-102





1 SITE PLAN
SCALE: 1/8" = 1'-0"

KEYNOTES -

- K01 PATIO COVER TO BE REMOVED
- K02 (N) STAIRS
- K03 (N) GAS FIRE-PIT TO REMAIN
- K04 (N) CONCRETE PATH
- K05 (N) CONCRETE FINISH
- K06 (N) COVERED ENTRY ROOF EAVE
- K07 (N) 6' WOOD FENCE
- K08 (N) COVERED ENTRY TO (E) HOUSE
- K09 (N) KOI POND
- K10 (N) OPEN TRELLIS OVER PERMEABLE WOOD DECK
- K11 (N) RAISED DECK WITH FLAGSTONE FINISH
- K12 (N) PATIO COVERED
- K13 (N) WALK
- K14 (N) THREE 95 GAL TRASH CONTAINERS
- K15 (E) CONCRETE PATH

SITE PLAN LEGEND	
	AREA OF ADDITION
	AREA OF REMODEL
	AREA OF OPEN YARD
	AREA DRAIN
	BACKFLOW PREVENTION
	BALL VALVE
	BIO RETENTION BASIN
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	DECK DRAIN
	DEMOLISH
	DETENTION ZONE (DZ)
	DETENTION ZONE INVERT
	DOWNSPOUT
	DRAINAGE SLOPE
	DRIP IRRIGATION
	EASEMENT
	ELECTRIC METER
	ELEVATION (DEMO)
	ELEVATION (E)
	ELEVATION (N)
	ELECTRIC/PHONE/CATV
	EXCAVATE & COMPACT (E&C)
	EXCAVATION DEPTH
	FIBER ROLL
	FILL
	FF FINISHED FLOOR ELEVATION
	FG FINISHED GRADE ELEVATION
	FH FIRE HYDRANT
	FB FREEBOARD
	GM GAS METER
	G GAS PIPE
	GV GROUND VAULT
	HH HANDHOLE
	LANDSCAPE
	LIMIT OF DISTURBED AREA
	OVRI OVERFLOW INVERT
	OVRIHD OVERHEAD WIRES
	PAPER PAVEMENT
	PLP PER ARCH PLAN
	PLP PER LANDSCAPE PLAN
	PI PIPE INVERT
	PP POWER POLE
	PL PROPERTY LINE
	RP REDUCED PRESSURE
	RPBP REDUCED PRESSURE/BACKFLOW PREVENTION
	RRAP RIP-RAP TO PREVENT EROSION
	RG ROUGH GRADE ELEVATION
	SR SELF RETAINING
	ST SELF TREATING
	SETBACK
	SMH SEWER MANHOLE
	SS 4.00 SEWER SANITARY
	SV SHUTOFF VALVE
	SW SIDEWALK
	SLT SALT FENCE
	SLOPE OF GRADE 5% MIN FOR 10-FT AT FOUNDATION
	SI SPILLWAY INVERT
	SE XXX SPOT ELEVATION (E)
	SE XXX SPOT ELEVATION (N)
	SDMH STORM DRAIN MANHOLE
	SW 4.00 STORMWATER (E)
	SW 4.00 STORMWATER (N)
	SG SUBGRADE
	TOC TOP OF CURB
	TOD TOP OF DECK
	TOF TOP OF FENCE
	TOG TOP OF GRATE
	TOP TOP OF PAVEMENT (BT, CONC, TILE, ETC)
	TOW TOP OF WALL
	UDS UPPER DOWNSPOUT
	UNO UNLESS NOTED OTHERWISE
	WM WATER METER
	CW 1.00 WATER SUPPLY PIPE COLD
	HW 1.00 WATER SUPPLY PIPE HOT
	WD 4.0 WALL DRAIN
	WI WETTED INVERT

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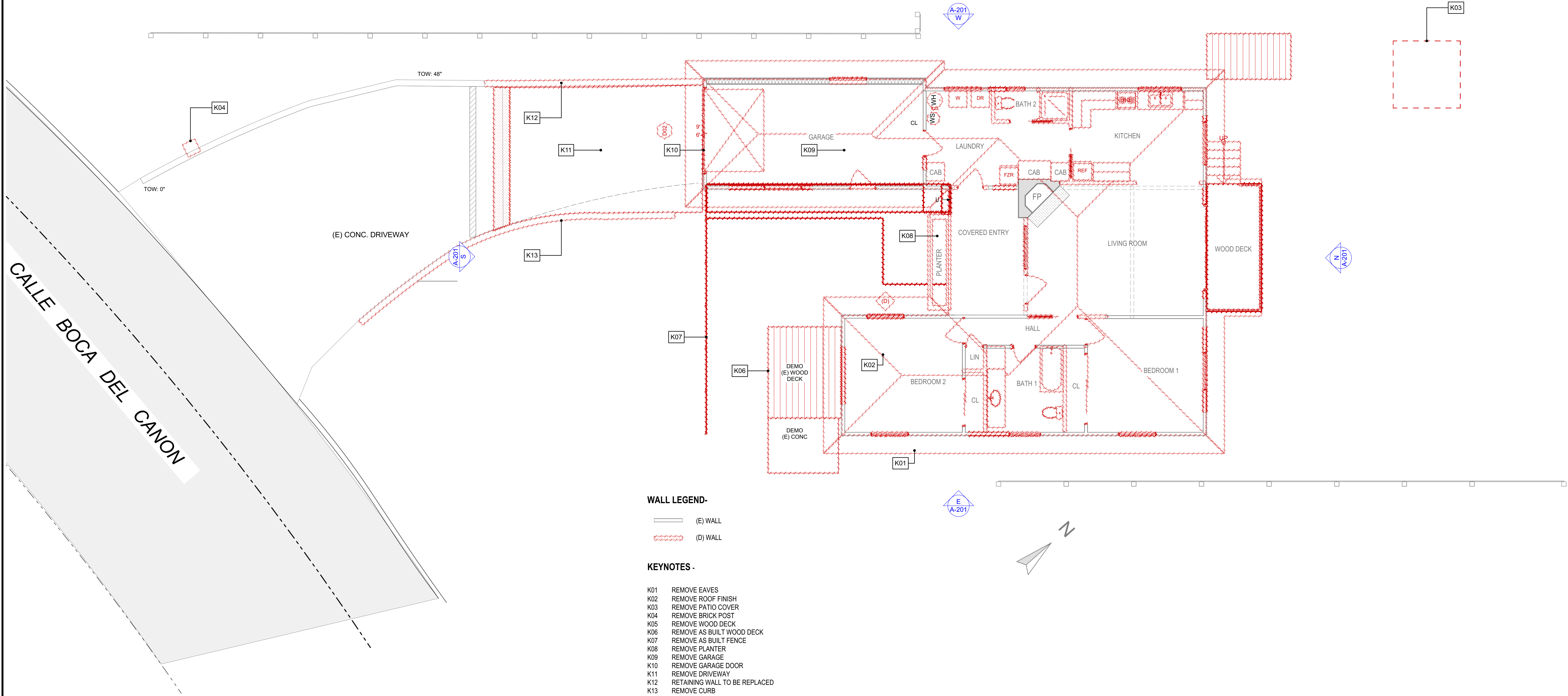
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CREATED BY: WDS

SHEET
SITE PLAN

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A-202	ELEVATIONS PROPOSED
A-301	SECTIONS
A-501	ARCH DETAILS
A-901	RENDERINGS



1 DEMO PLAN
SCALE: 3/16" = 1'-0"

DATE: 5/11/2020

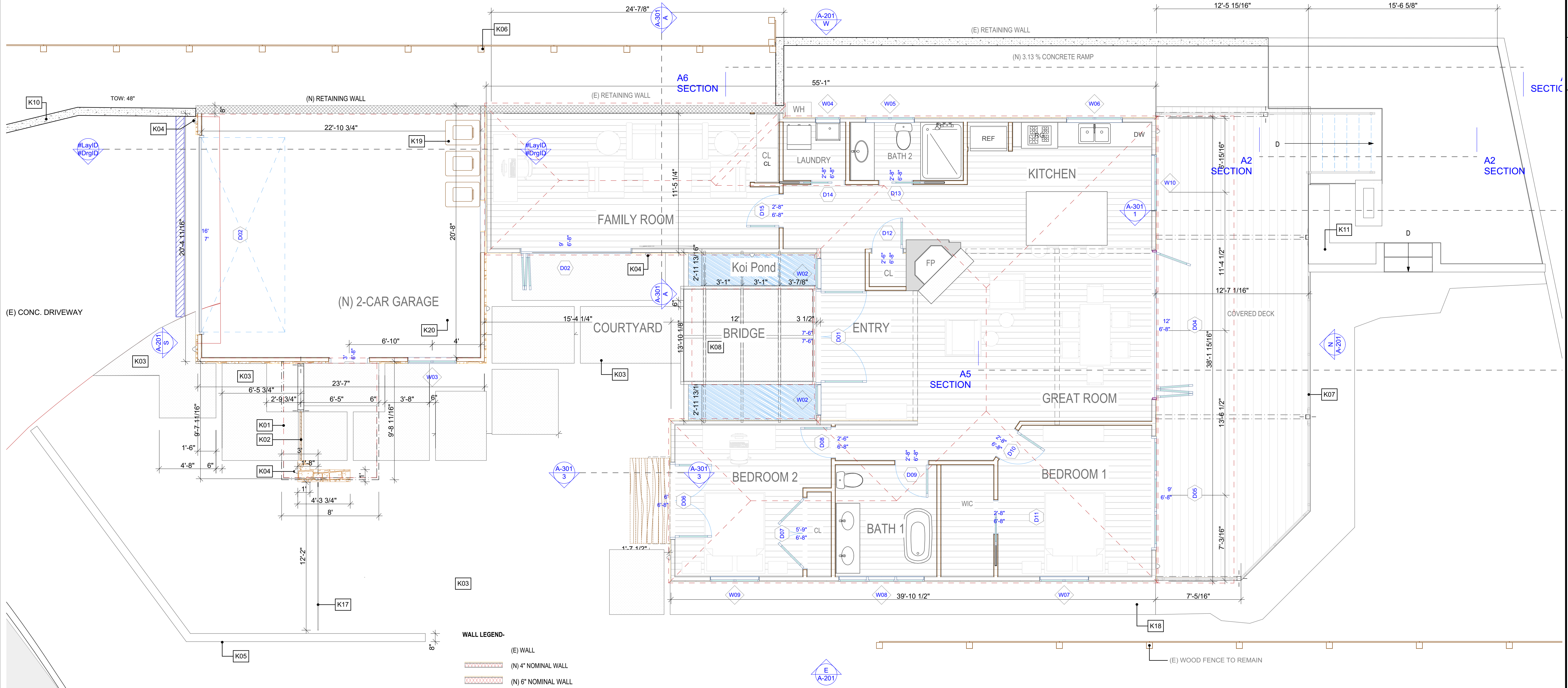
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01/23/2020	SFDB
02/20/2020	MOD
05/11/2020	SFDB

SCALE AS NOTED

CREATED BY: WDS

SHEET
DEMO PLAN

G-001	GENERAL
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- WALL LEGEND -**
- (E) WALL
 - (N) 4" NOMINAL WALL
 - (N) 6" NOMINAL WALL

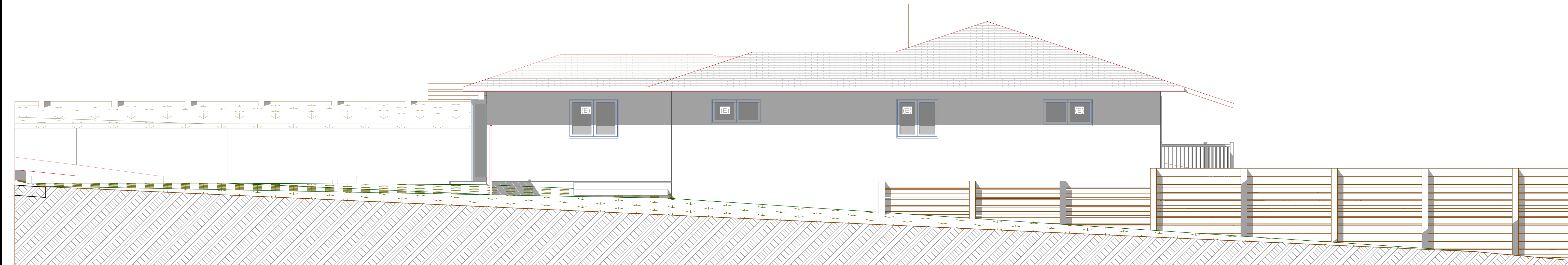
- GENERAL NOTES -**
- G01 GENERAL RESIDENTIAL NOTES PER A-001
 - G01 GENERAL CONSTRUCTION NOTES PER C-A-001
 - G02 GENERAL PLUMBING NOTES PER P-A-001
 - G03 GENERAL MECHANICAL NOTES PER M-A-001
 - G04 GENERAL ELECTRICAL NOTES PER E-A-001
 - G05 UNO EXTERIOR FINISHES @ GRADE PER 4-A-501-CONS-EXTERIOR FINISHES @ GRADE
 - G06 UNO GENERAL ATTIC VENTILATION REQUIREMENTS PER 3-A-501-ROOF-ATTIC VENTILATION
 - G07 GENERAL CODE REQUIREMENTS FOR RESIDENTIAL STAIRS & GUARDS PER 1-A-501-CONS-STAIR & GUARD RESIDENTIAL

- KEYNOTES -**
- K01 (N) COVERED PATIO
 - K02 (N) PERFORATED STEEL PANEL AT ENTRY GATE
 - K03 (N) CONCRETE FINISH PATH
 - K04 (N) LED WALL SCONES
 - K05 (N) 30" H SB SANDSTONE GARDEN WALL TO MATCH (E)
 - K06 (E) RETAINING WALL
 - K07 (N) CABLE RAILGUARD
 - K08 RECESSED LIGHTS @ ENTRY COVER
 - K09 RECESSED LIGHTS @ COVER PATIO
 - K10 (E) RETAINING WALL
 - K11 AS BUILT CONCRETE SEATING AREA
 - K17 (N) 6" WOOD FENCE
 - K18 (E) CONCRETE PATH
 - K19 (N) 95 GALLONS TRASH, RECYCLE AND GREENWASTE CONTAINERS
 - K20 (N) CONCRETE FINISH FLOOR

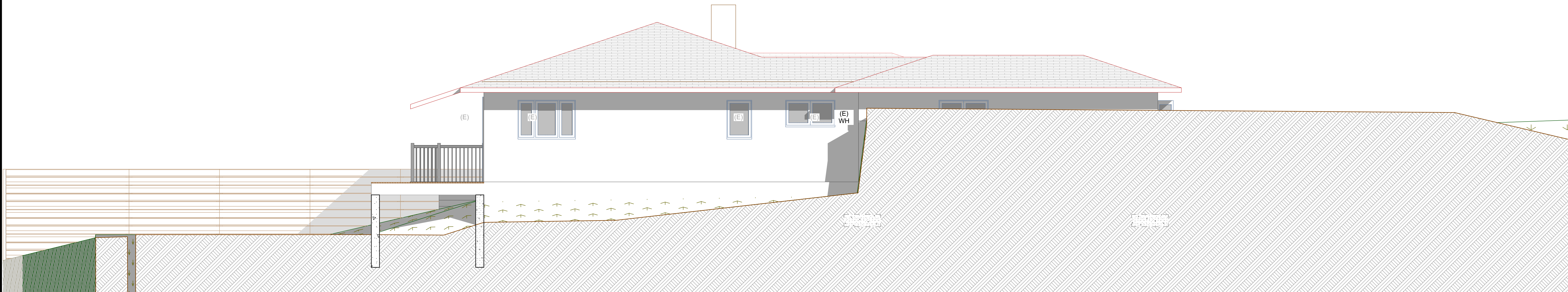
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CREATED BY: WDS

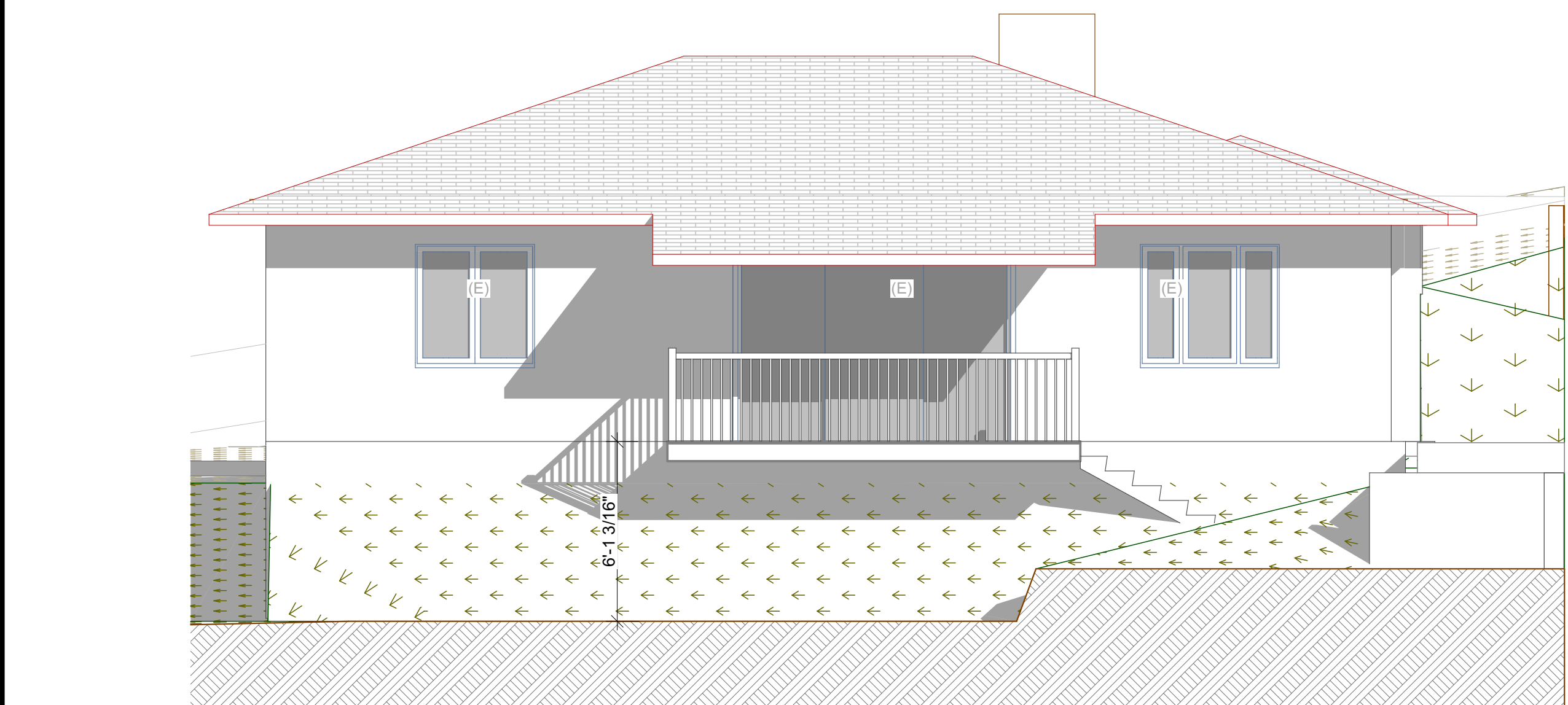
SHEET
FLOOR PLAN



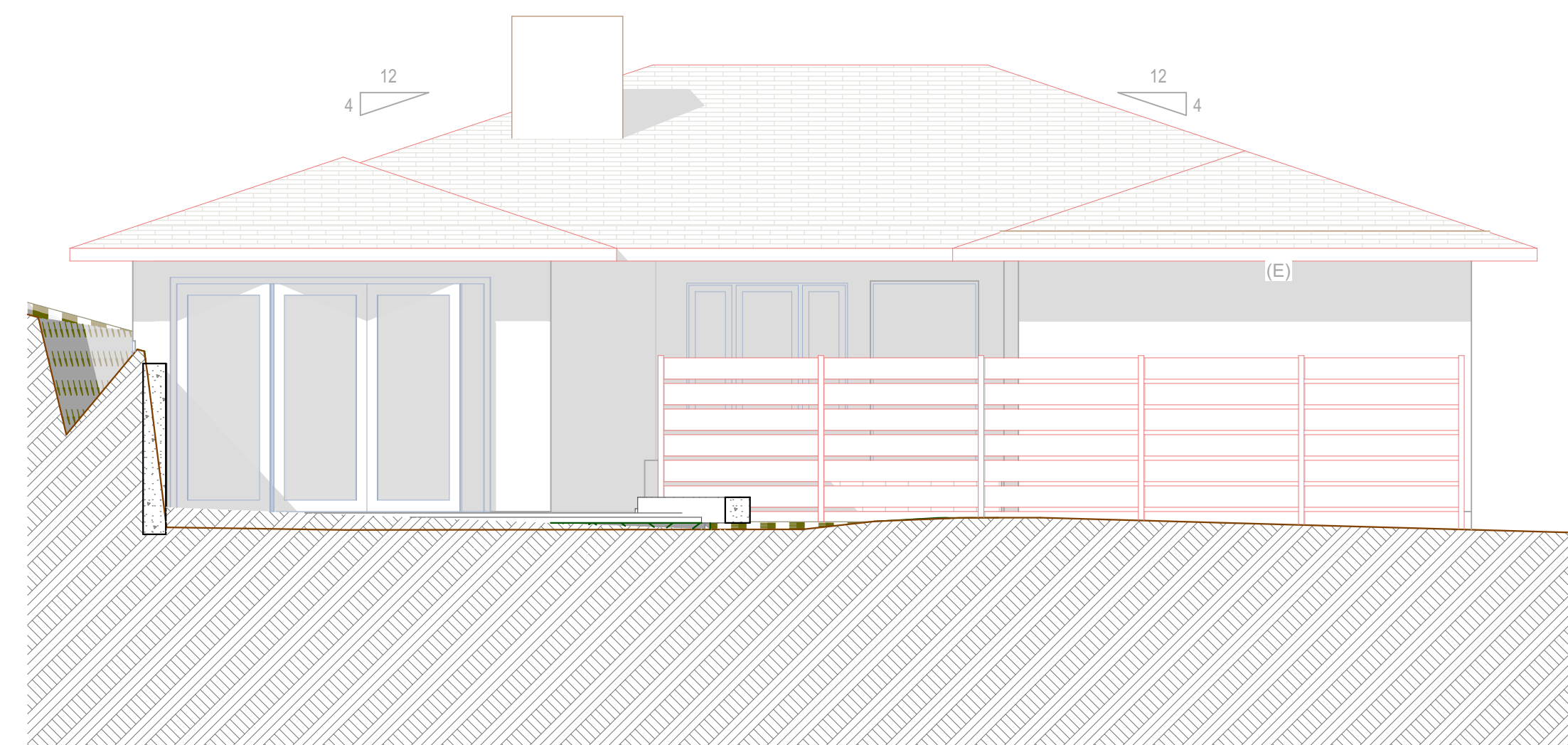
(E) ELEVATION EAST
SCALE: 1/4" = 1'-0"



(E) ELEVATION WEST
SCALE: 1/4" = 1'-0"



(E) ELEVATION NORTH
SCALE: 1/4" = 1'-0"



(E) ELEVATION SOUTH
SCALE: 1/4" = 1'-0"

WINDWARD
design services, llc
moving forward

1825 STATE STREET STE 102
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PROJECT
RESIDENTIAL REMODEL
1726 CALLE BOCA DEL CANON
SANTA BARBARA, CA 93101

CLIENT
JIM MARTIN
1726 CALLE BOCA DEL CANON
SANTA BARBARA, CA 93101

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DATE: 5/11/2020

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CREATED BY: WDS

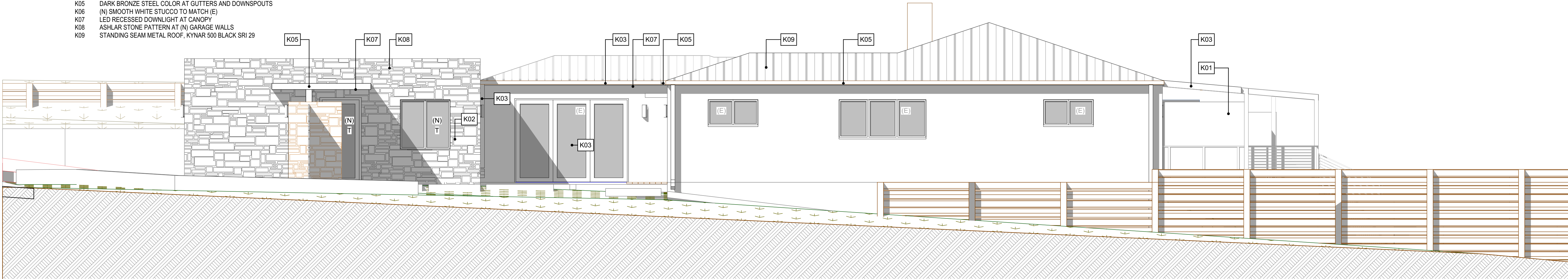
SHEET
ELEVATIONS EXISTING

A-201

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KEYNOTES -

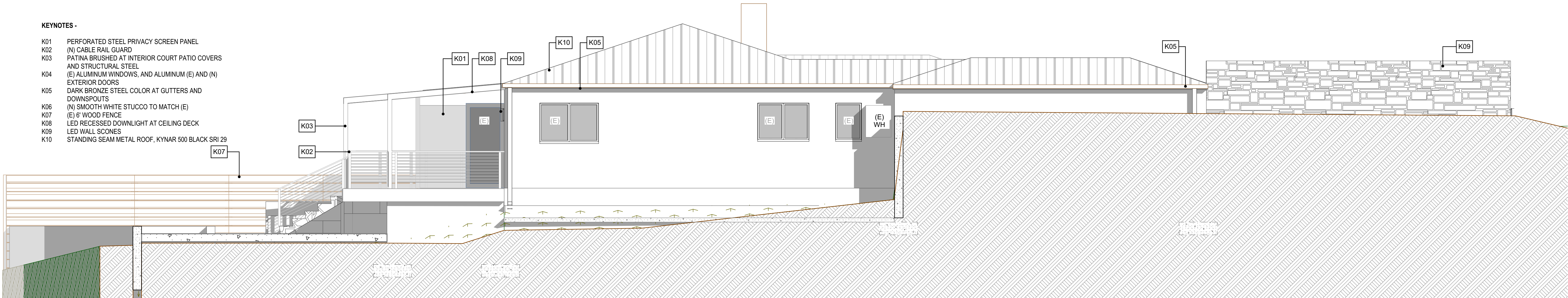
- K01 PERFORATED STEEL PRIVACY SCREEN PANEL AT DECK
- K02 WOOD PLANK DESIGN AT TRASH ENCLOSURE
- K03 PATINA BRUSHED AT INTERIOR COURT PATIO COVERS AND STRUCTURAL STEEL
- K04 (N) ALUMINUM WINDOWS AND DOORS TO MATCH (E)
- K05 DARK BRONZE STEEL COLOR AT GUTTERS AND DOWNSPOUTS
- K06 (N) SMOOTH WHITE STUCCO TO MATCH (E)
- K07 LED RECESSED DOWNLIGHT AT CANOPY
- K08 ASHLAR STONE PATTERN AT (N) GARAGE WALLS
- K09 STANDING SEAM METAL ROOF, KYNAR 500 BLACK SRI 29



(P) ELEVATION EAST
SCALE: 1/4" = 1'-0"

KEYNOTES -

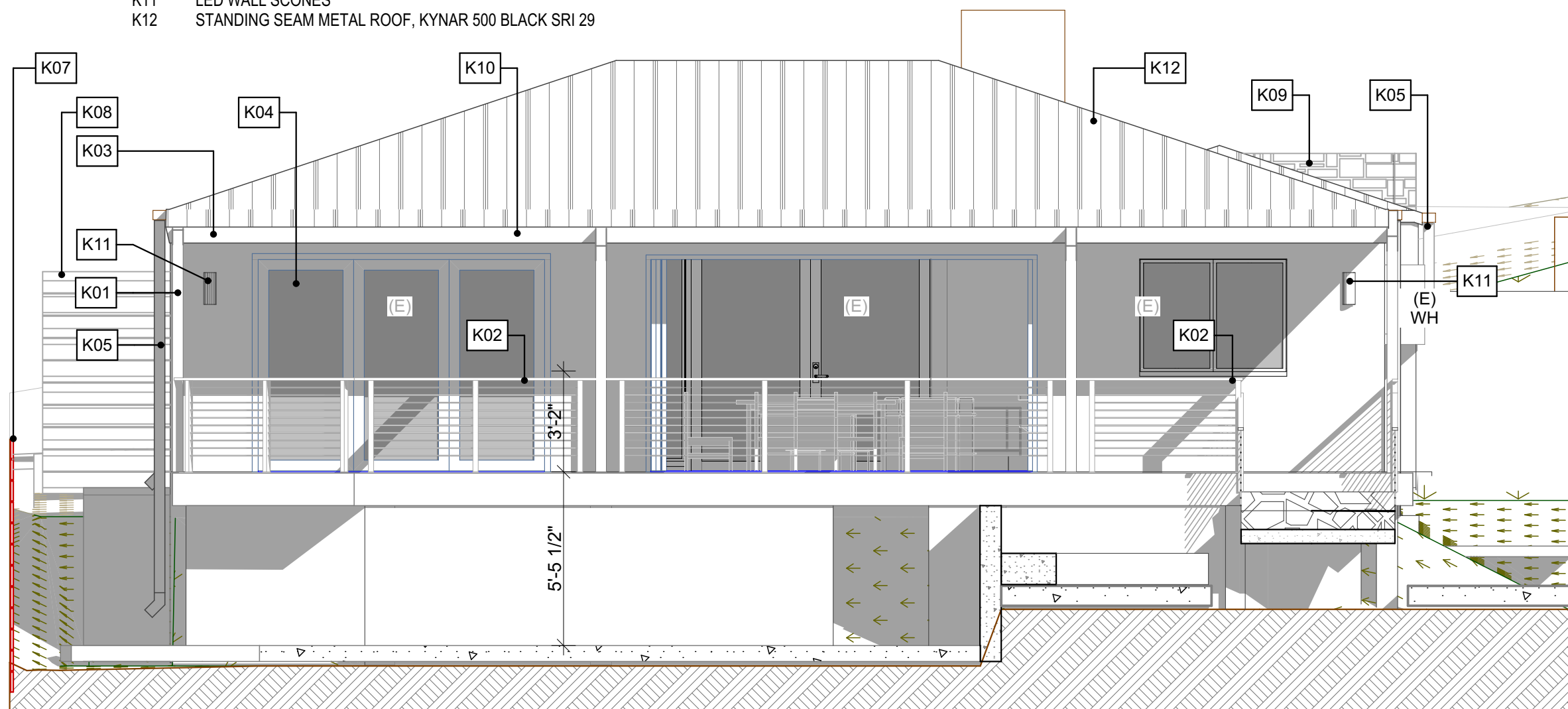
- K01 PERFORATED STEEL PRIVACY SCREEN PANEL
- K02 (N) CABLE RAIL GUARD
- K03 PATINA BRUSHED AT INTERIOR COURT PATIO COVERS AND STRUCTURAL STEEL
- K04 (E) ALUMINUM WINDOWS, AND ALUMINUM (E) AND (N) EXTERIOR DOORS
- K05 DARK BRONZE STEEL COLOR AT GUTTERS AND DOWNSPOUTS
- K06 (N) SMOOTH WHITE STUCCO TO MATCH (E)
- K07 (E) 6" WOOD FENCE
- K08 LED RECESSED DOWNLIGHT AT CEILING DECK
- K09 LED WALL SCONES
- K10 STANDING SEAM METAL ROOF, KYNAR 500 BLACK SRI 29



(P) ELEVATION WEST
SCALE: 1/4" = 1'-0"

KEYNOTES -

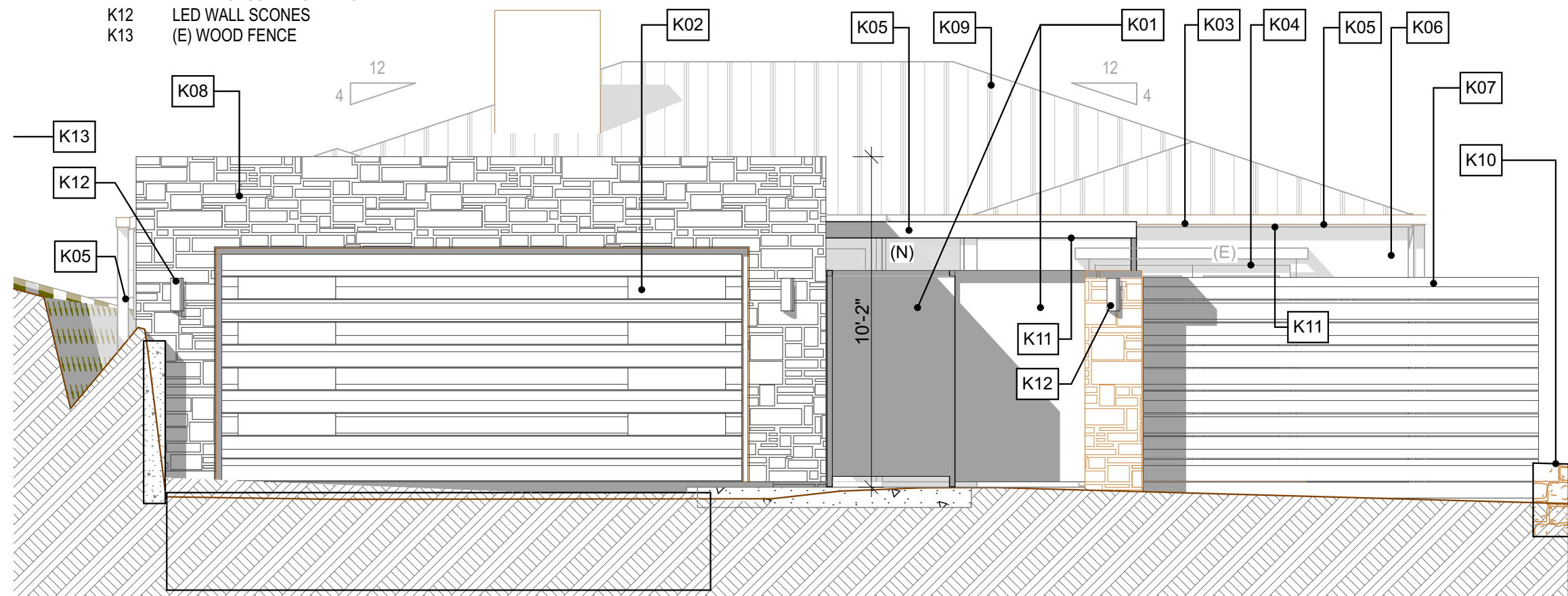
- K01 PERFORATED STEEL PRIVACY SCREEN PANEL AT DECK
- K02 (N) CABLE RAIL GUARD
- K03 PATINA BRUSHED AT INTERIOR COURT PATIO COVERS AND STRUCTURAL STEEL
- K04 (N) ALUMINUM WINDOWS AND DOORS TO MATCH (E)
- K05 DARK BRONZE STEEL COLOR AT GUTTERS AND DOWNSPOUTS
- K06 (N) SMOOTH WHITE STUCCO TO MATCH (E)
- K07 (E) 6" WOOD FENCE
- K08 (N) 6" WOOD FENCE AT ENTRY
- K09 ASHLAR STONE PATTERN AT (N) GARAGE DOOR
- K10 LED RECESSED DOWNLIGHT AT CEILING DECK
- K11 LED WALL SCONES
- K12 STANDING SEAM METAL ROOF, KYNAR 500 BLACK SRI 29



(P) ELEVATION NORTH
SCALE: 1/4" = 1'-0"

KEYNOTES -

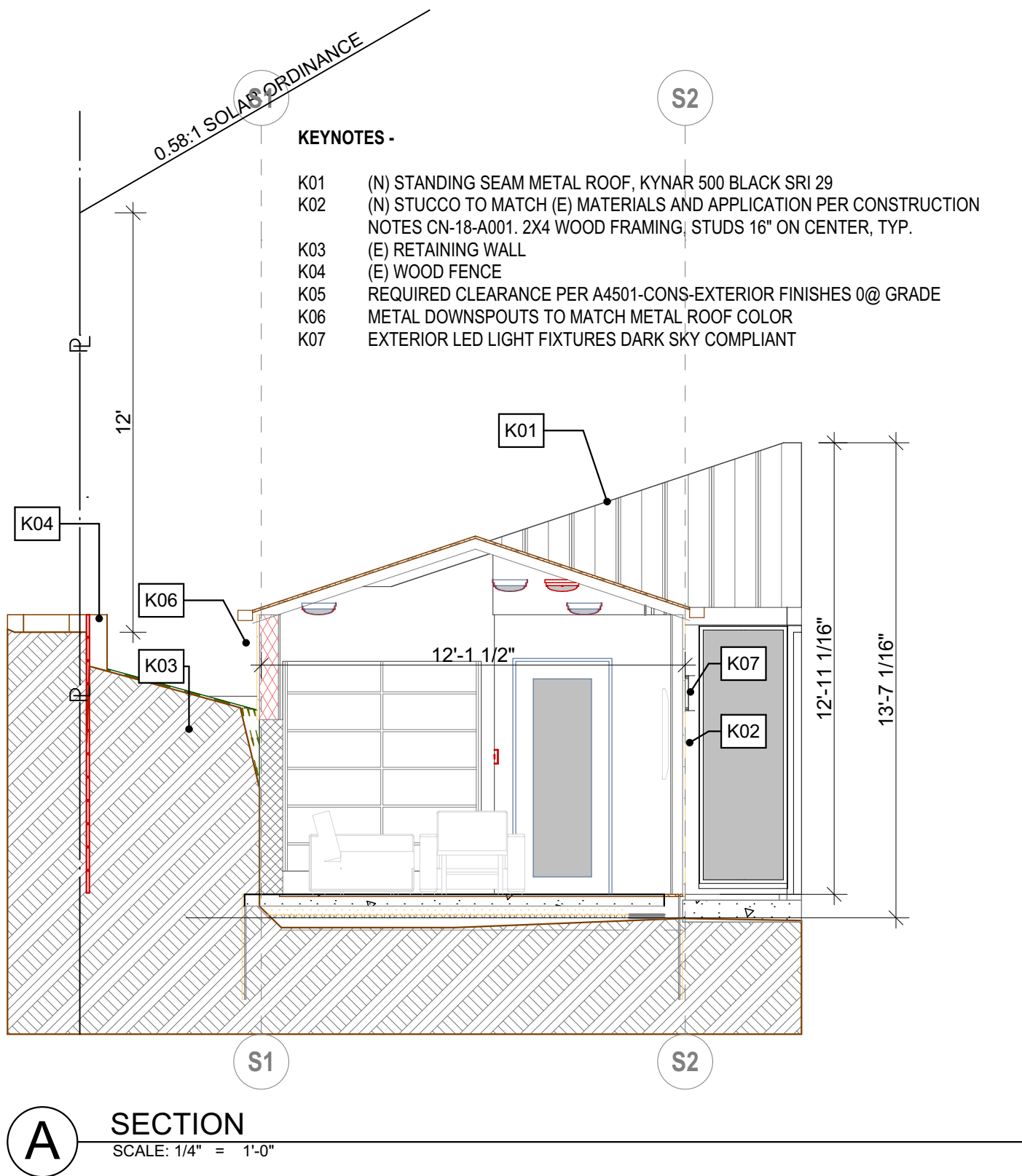
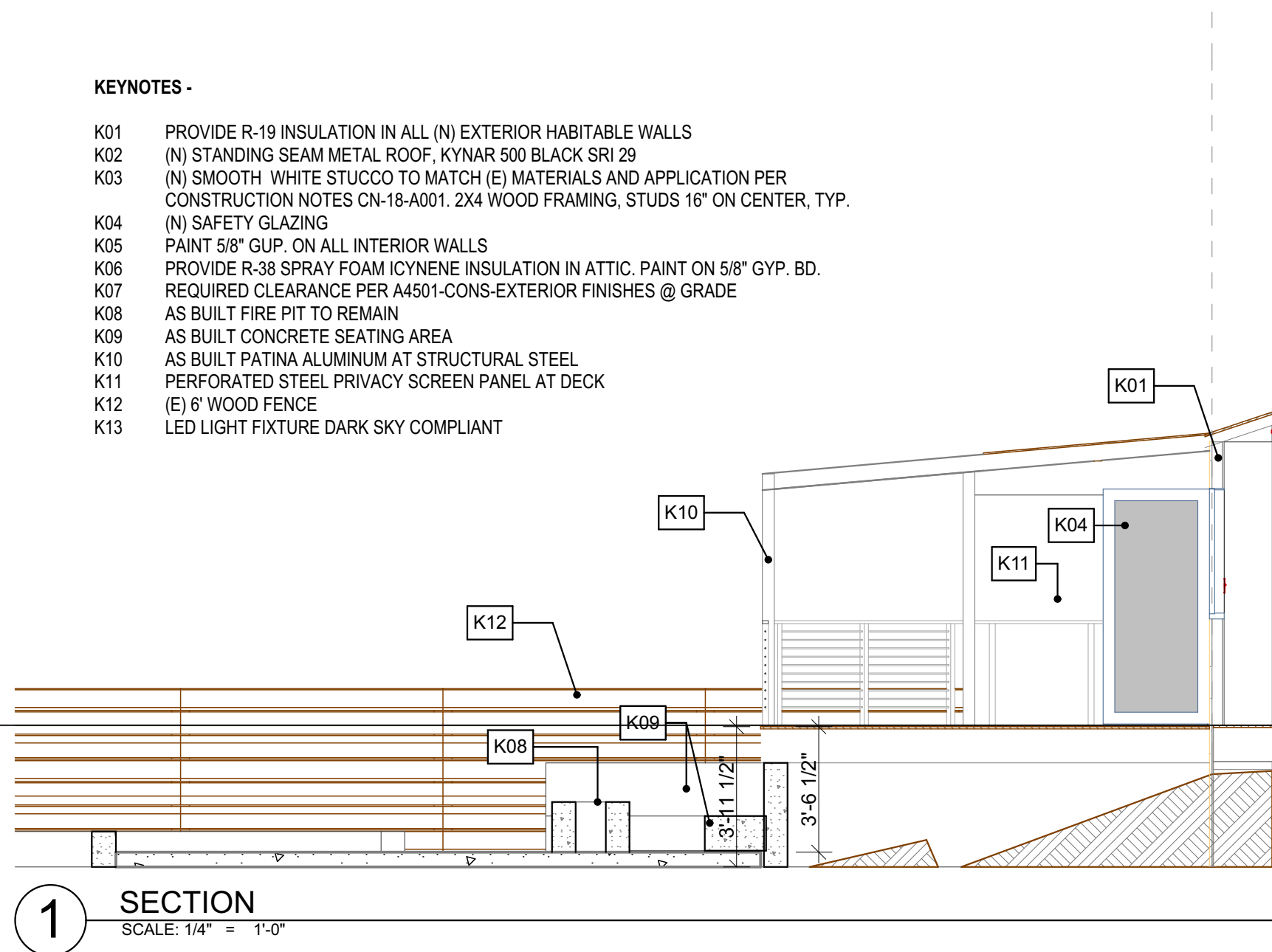
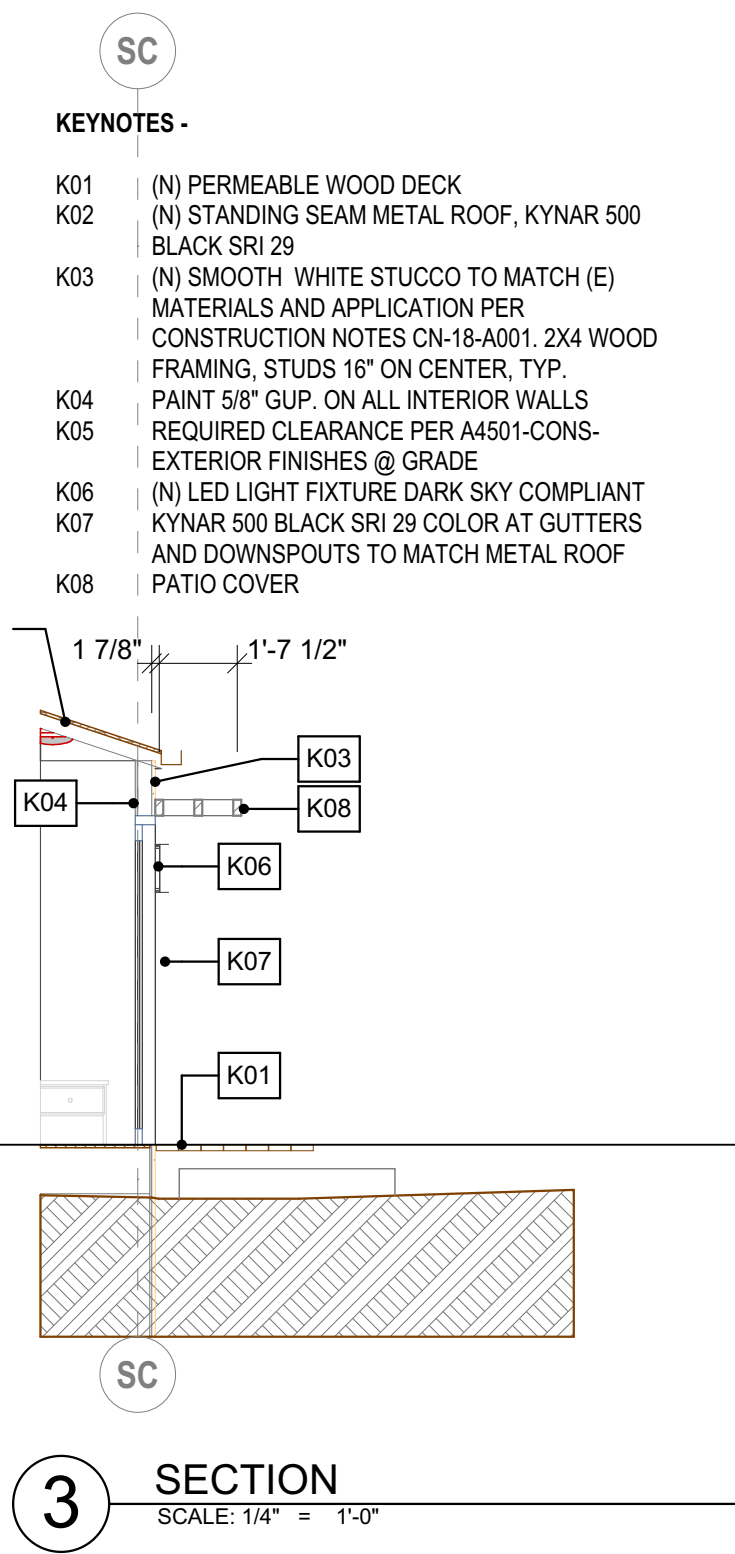
- K01 PERFORATED STEEL PANEL AT ENTRY GATE
- K02 (N) WOOD PLANK DESIGN GARAGE DOOR WITH SMOOTH FROSTED GLASS
- K03 PATINA BRUSHED STEEL COLOR AT INTERIOR COURT PATIO COVERS AND STRUCTURAL STEEL
- K04 (N) ALUMINUM WINDOWS AND DOORS TO MATCH (E)
- K05 DARK BRONZE STEEL COLOR AT GUTTERS AND DOWNSPOUTS
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- K07 (N) WOOD FENCE
- K08 ASHLAR STONE PATTERN AT (N) GARAGE DOOR
- K09 STANDING SEAM METAL ROOF, KYNAR 500 BLACK SRI 29
- K10 (N) 30" H SB SANDSTONE GARDEN WALL TO MATCH (E)
- K11 LED RECESSED DOWNLIGHT AT ENTRY
- K12 LED WALL SCONES
- K13 (E) WOOD FENCE



(P) ELEVATION SOUTH
SCALE: 1/4" = 1'-0"

DATE:	5/11/2020
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SCALE AS NOTED
CREATED BY: WDS
SHEET
ELEVATIONS PROPOSED



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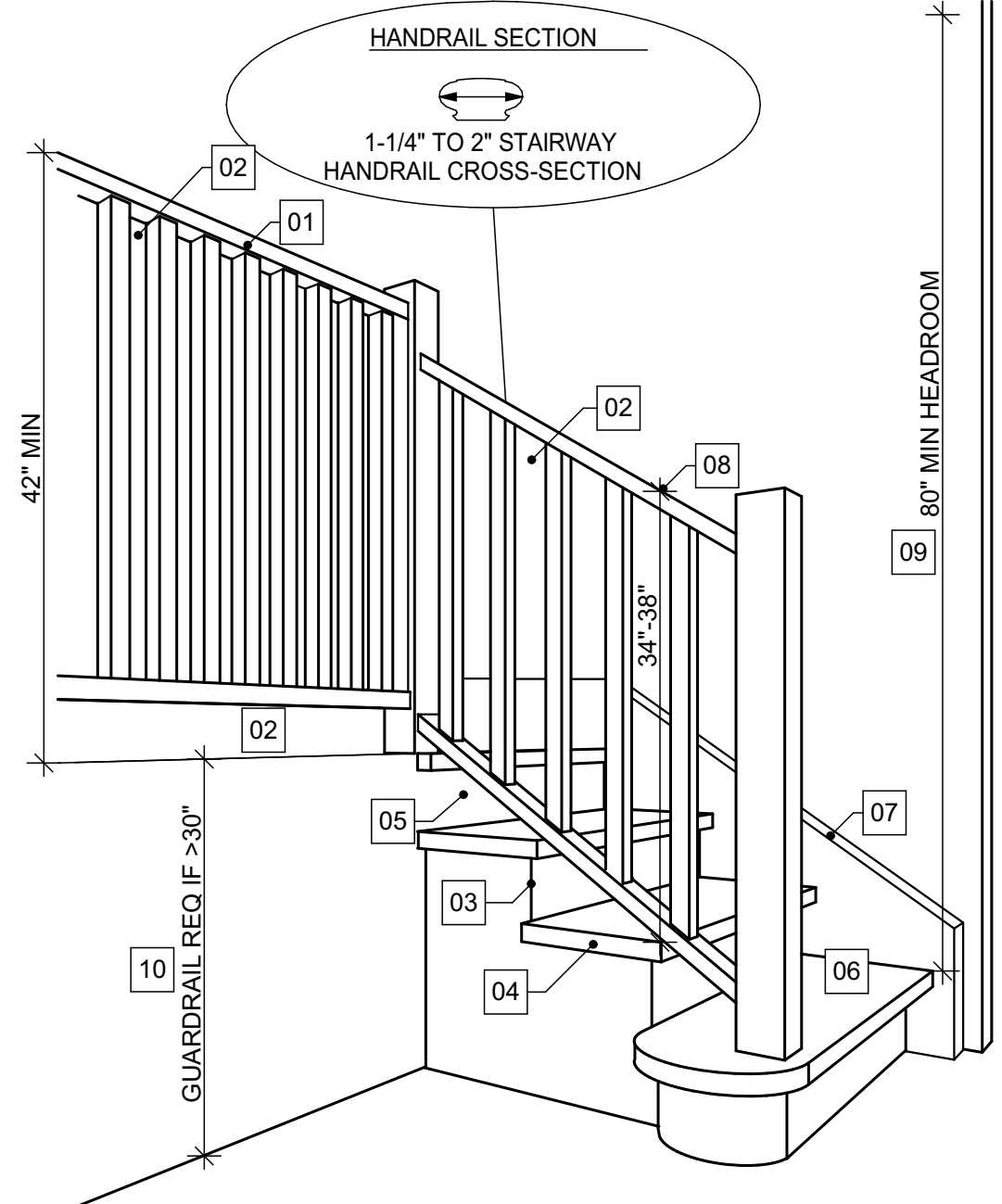
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SHEET

SECTIONS

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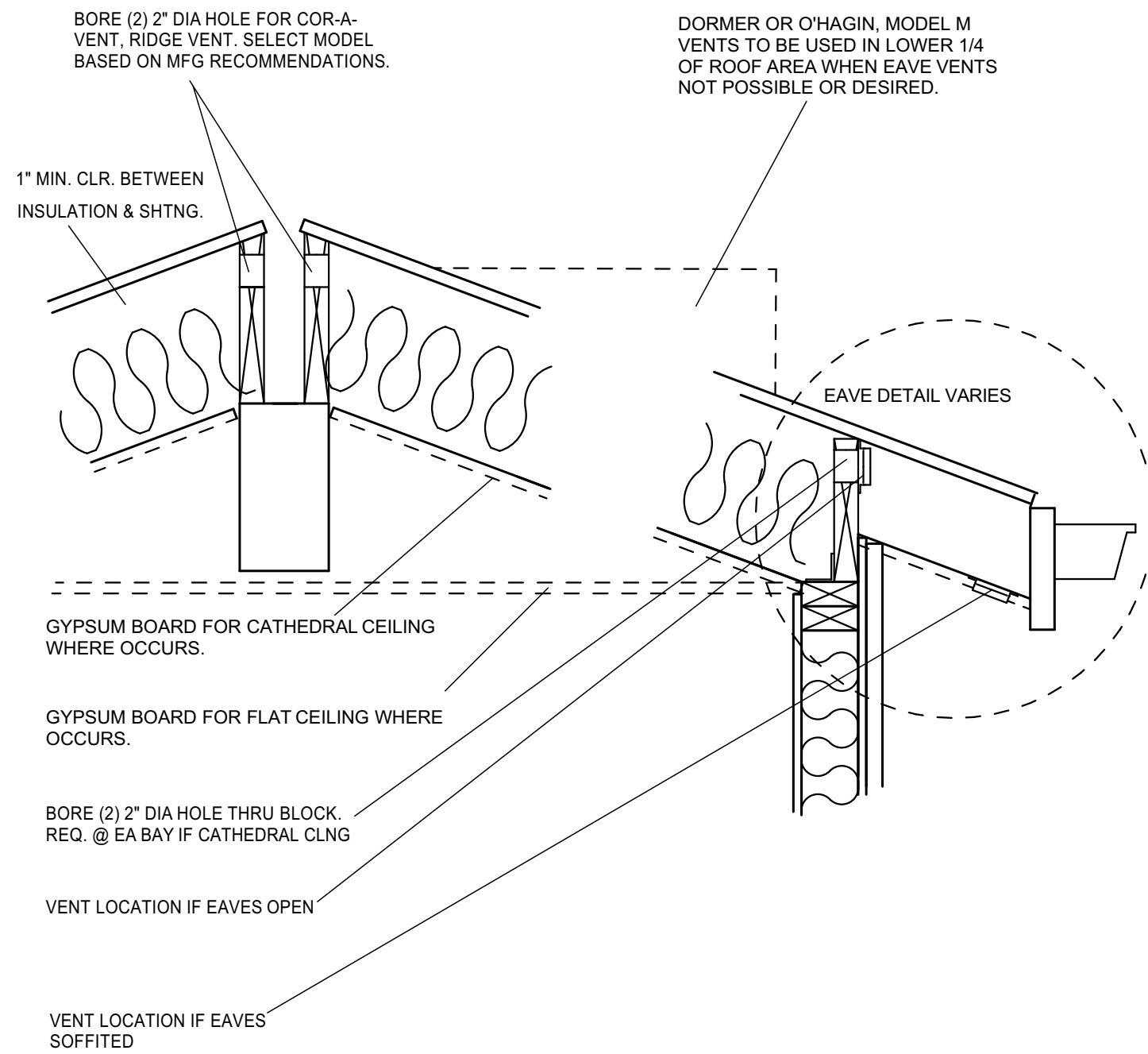


GENERAL NOTES -

- 51 DETAIL REPRESENTATIVE & INTENDED FOR CODE REFERENCE PURPOSES ONLY. ACTUAL CONDITIONS MAY VARY. CONTRACTOR TO NOTIFY DESIGNER OF CONDITIONS THAT CONFLICT WITH THIS DETAIL
- 52 STAIR AND GUARD TO BE FABRICATED BY LICENSED CONTRACTOR
- 53 CONTRACTOR RESPONSIBLE FOR INSURING THAT FABRICATION TECHNIQUES MEET THE MINIMUM STRUCTURAL LOAD REQUIREMENTS SPECIFIED BY CODE
- 54 THIS DETAIL LIMITED TO PRIVATE RESIDENCES W/OCCUPANT LOAD <= 10
- 55 HANDRAIL NOT REQUIRED IF <= 3 RISERS
- 56 HANDRAILS MAY PROTRUDE INTO REQUIRED STAIR WIDTH 3-1/2" MAX EACH SIDE
- 57 MIN 1-1/2" CLR BETWEEN EDGE OF HANDRAIL AND NEAREST SURFACE
- 58 HANDRAILS SHALL BE CONTINUOUS AND RUN THE FULL LENGTH OF STAIRS
- 59 HANDRAIL ENDS SHALL BE RETURNED, BENT, OR HAVE ROUNDED TERMINATION
- 60 THERE SHALL BE A FLOOR OR LANDING AT TOP & BOTTOM OF EACH STAIRWAY OR STAIR RUN. MINIMUM LANDING DEPTH EQUAL TO THE WIDTH OF STAIRWAY, BUT NEED NOT EXCEED 44"
- 61 HEIGHT BETWEEN FLOORS OR LANDINGS <= 12'-0"

KEYNOTES -

- 01 42" MIN GUARDRAIL HEIGHT
- 02 4" SPHERE CAN'T PASS THRU GUARD, BENEATH GUARD, & THRU STAIR RAIL
- 03 4" TO 7-3/4" RISER HEIGHT WITH MAX VARIANCE IN HEIGHT OF 3/8". IF RISER OPEN, 4" SPHERE NOT TO PASS THRU (NOT REQUIRED FOR OVERALL STAIR HEIGHTS OF <= 30")
- 04 10" MIN TREAD LENGTH WITH MAX VARIANCE IN LENGTH OF 3/8". TREADS LESS THAN 11" REQUIRE (3/4" TO 1-1/4") NOSING, WHERE RISERS ARE SOLID
- 05 6" SPHERE CAN'T PASS BENEATH STAIR RAIL
- 06 MIN 36" STAIR WIDTH FOR RESIDENTIAL
- 07 SKIRTS & MOLDINGS MAY PROTRUDE INTO REQ STAIR WIDTH 1-1/2" MAX EACH SIDE
- 08 34" TO 38" HANDRAIL HEIGHT @ STAIR NOSING. GUARD <= TO 38" IF TOP USED AS HANDRAIL
- 09 80" MIN HEADROOM AT NOSING
- 10 GUARD REQ IF >30"

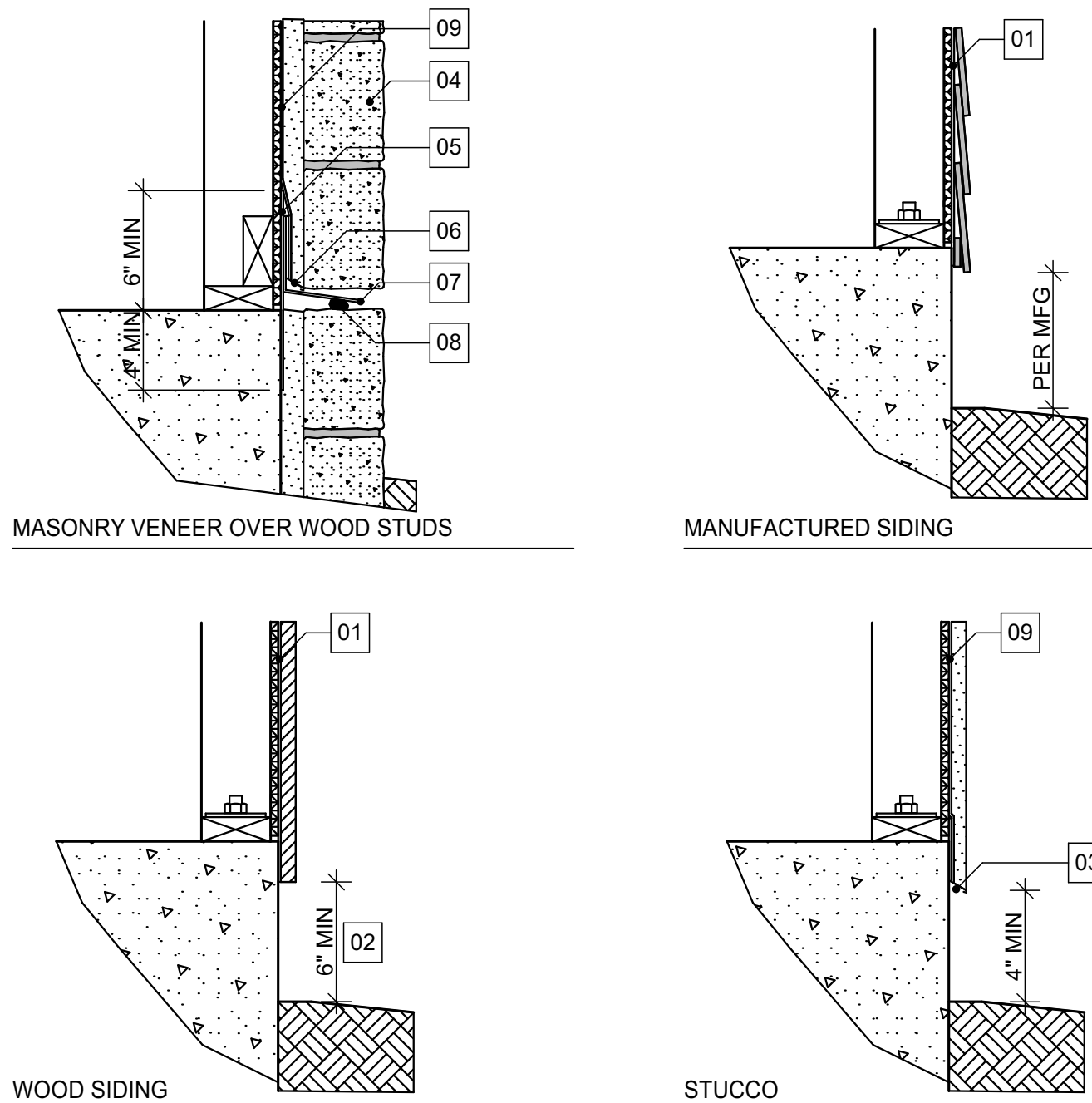


GENERAL NOTES-

- 51 THIS DETAIL REPRESENTS TYPICAL MINIMUM REQUIREMENTS AND IS TO BE USED IF THE INDICATED CONDITIONS OCCUR. MORE STRINGENT REQS. STIPULATED ELSEWHERE WITHIN THESE DOCUMENTS SUPERSEDE.
- 52 THE NET FREE VENTILATING AREA (NFVA) SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE TO BE VENTILATED.
- 53 THE NFVA MAY BE 1/300 OF THE AREA PROVIDED THAT AT LEAST 40% AND NO MORE THAN 50% OF THE REQUIRED VENTILATING AREA TO BE PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE VENTILATED SPACE, AT LEAST 3 FT ABOVE EAVE OR CORNICE VENTS, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.
- 54 INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING.
- 55 OPENINGS FOR VENTILATION SHALL BE COVERED WITH CORROSION-RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION. IN HIGH FIRE HAZARD ZONES OPENINGS TO HAVE A MINIMUM SIZE OF 1/16" AND MAXIMUM SIZE NOT TO EXCEED 1/8".
- 56 ENCLOSED RAFTER SPACES THAT ARE CREATED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF RAFTERS SHALL BE INDIVIDUALLY VENTED OR ICYNENE INSULATION SHALL BE APPLIED. PER THE INSULATION REQUIREMENTS, TO THE UNDERSIDE OF THE ROOF SHEATHING UNLESS IN DESIGNATED HIGH FIRE AREA. CATHEDRAL CEILING VENTING SHALL BE ACCOMPLISHED BY MEANS OF EAVE VENTS AND A RIDGE VENT.
- 57 INCREASE VENTILATING AREA FOR ATTIC FAU AT 2 SQ IN/1,000 BTU. W/MIN. INCREASE OF 200 SQ IN. OR ADD COMBUSTION AIR INTAKE PER FAU MFG INSTALLATION INSTRUCTIONS. EXCEPTION: ADDITIONAL VENTILATION NOT REQUIRED IF ATTIC VOLUME IS AT LEAST 50 CF/1,000 BTU.

ROOF-ATTIC VENTILATION

NOT TO SCALE



GENERAL NOTES -

- 51 UNLESS NOTED OTHERWISE, ALL MATERIALS TO BE INSTALLED PER THE APPLICABLE PROVISIONS OF THESE DOCUMENTS AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 52 5% MIN SLOPE OF GRADE FOR AT LEAST 10-FT AWAY FROM FOUNDATION. 2% FOR IMPERVIOUS SURFACES

KEYNOTES -

- 01 WATER-RESISTIVE BARRIER PER ARCHITECTURAL SPECIFICATIONS
- 02 6" MIN CLR BETWEEN WOOD SIDING & GRADE. CLEARANCE MAY BE REDUCED IF SIDING, SHEATHING, & LUMBER IS NATURALLY RESISTANT TO DECAY OR TREATED WITH PRESERVATIVE
- 03 A CORROSION RESISTANT WEEP SCREED, MADE FROM MIN 26 GA MATERIAL, WITH MIN 3-1/2" FLANGE, SHALL BE INSTALL AT BASE OF STUCCO. WEEP SCREED SHALL HAVE A MIN CLR TO GRADE OF 4" OR A 2" MIN CLR TO PAVING
- 04 MASONRY VENEER. INSTALL PER MFG INSTRUCTIONS
- 05 SELF-ADHERING FLASHING WITH 4" MIN LAP OF FOUNDATION AND 6" MIN LAP UP WALL SHEATHING
- 06 WEEP SCREED
- 07 GALVANIZED SHEET METAL FLASHING, MIN 24 GA, WITH MIN 3" FLANGE. UNO, SOLDER ALL JOINTS
- 08 BEDDING SEAL
- 09 2-LAYERS OF GRADE D WATER-RESISTIVE BARRIER PER ARCHITECTURAL SPECIFICATIONS

CONS-EXTERIOR FINISHES @ GRADE

NOT TO SCALE

CONS-STAIR & GUARD RESIDENTIAL

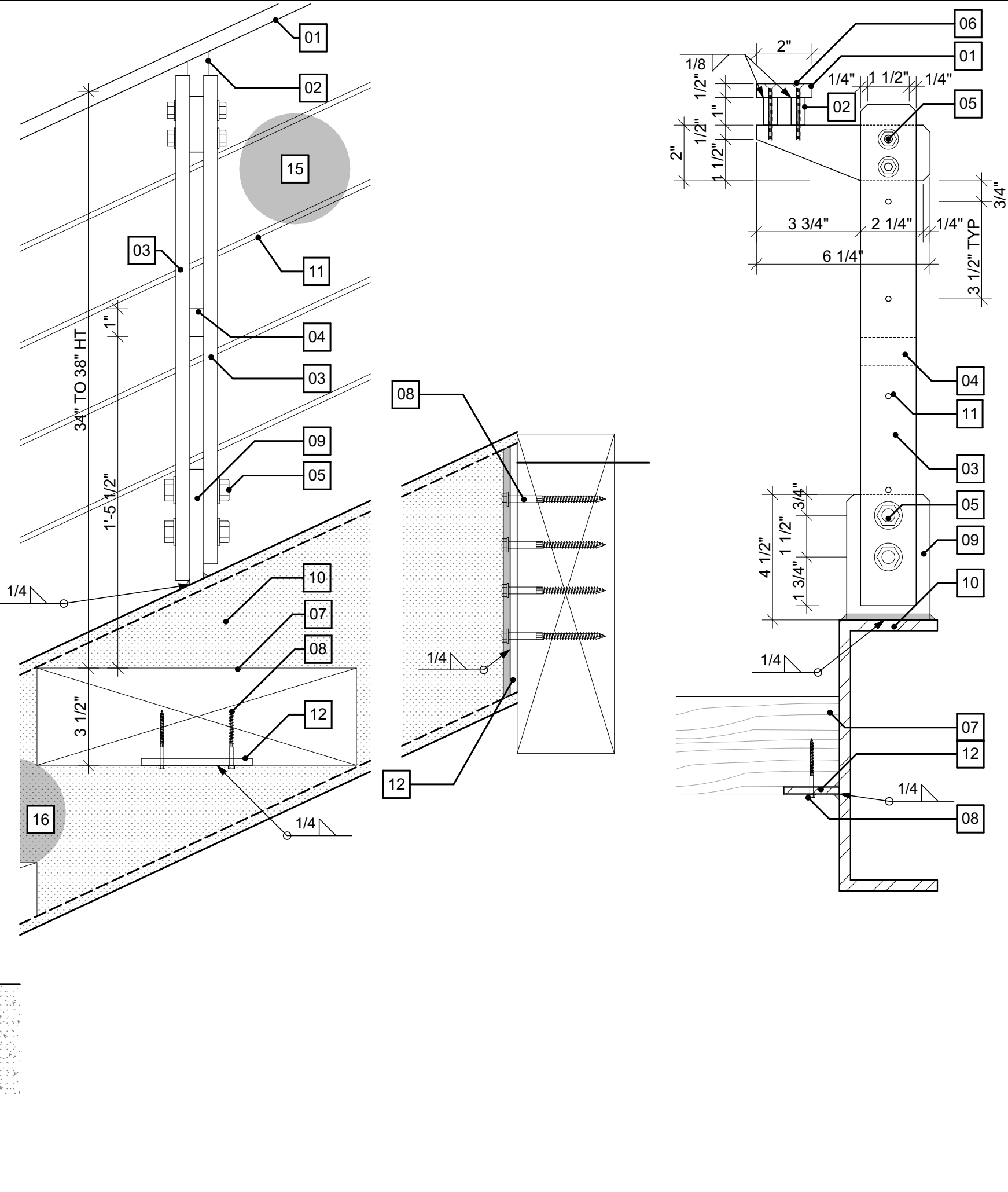
NOT TO SCALE

GENERAL NOTES -

- 51 ALL MATERIAL TO BE STAINLESS STEEL WITH BRUSHED FINISH

KEYNOTES -

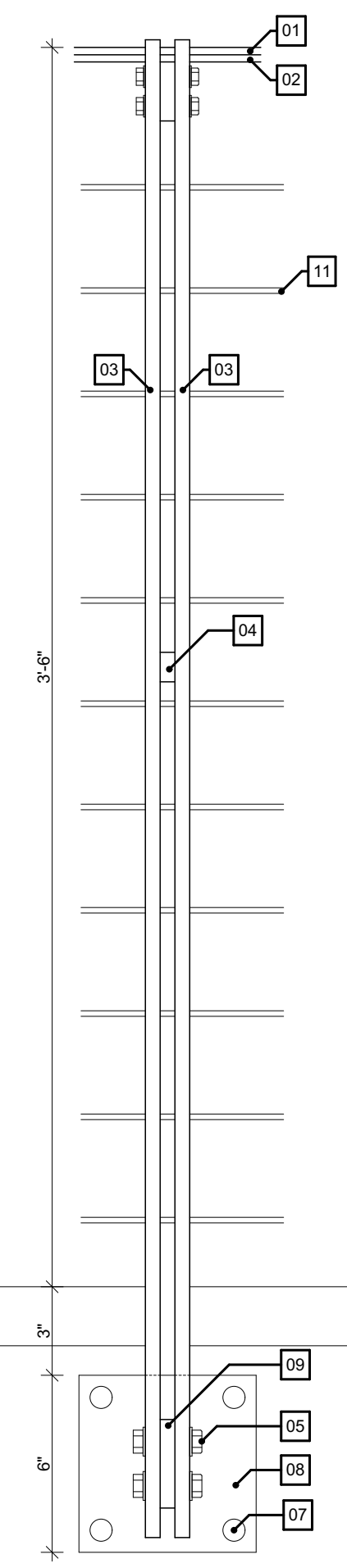
- 01 1/2" X 2" RAIL
- 02 1/4" X 3/4" PLATE
- 03 2 - 3/8" X 2" PLATES @ 60" OC MAX
- 04 1/2" X 1" X 2" SPACER
- 05 1/2" THRU BOLT
- 06 #10 FLATHEAD MACHINE SCREW
- 07 4X12 WD TREAD
- 08 4-Ø 1/4" X 3-1/2" SDS
- 09 1/2" X 3" X 4 1/2" WITH 1/4" FILLET @ TOP CORNERS
- 10 C12X30 STRINGER
- 11 Ø 3/16" CABLE @ 3" OC MAX
- 12 1/4" X 2" X 4" PLATE
- 13 1/4" X 8" X 6.5" PLATE
- 14 2 - Ø 5/8" BOLTS WITH 7" EMBEDMENT INTO CONC FTG
- 15 4" SPHERE CANNOT PASS THRU RAIL
- 16 4" SPHERE CANNOT PASS THRU RISER



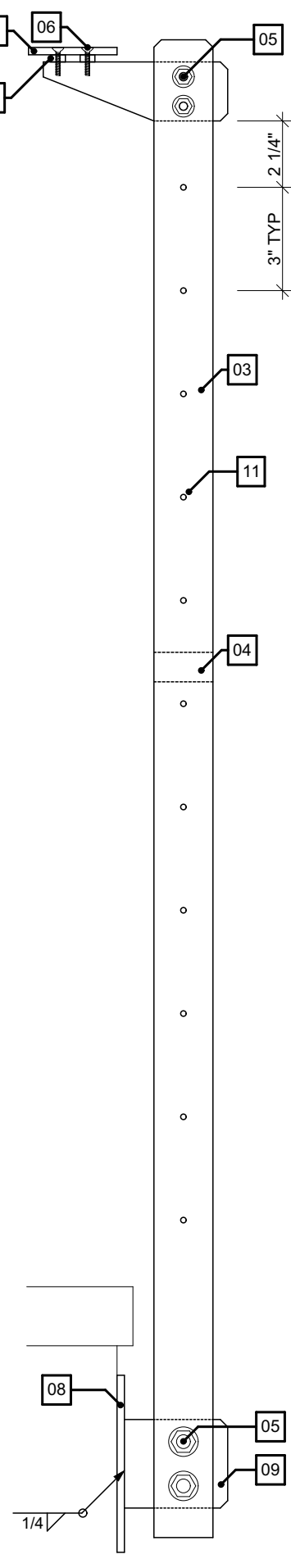
STL-GUARD PLATE STL, CABLE, HANDRAIL

NOT TO SCALE

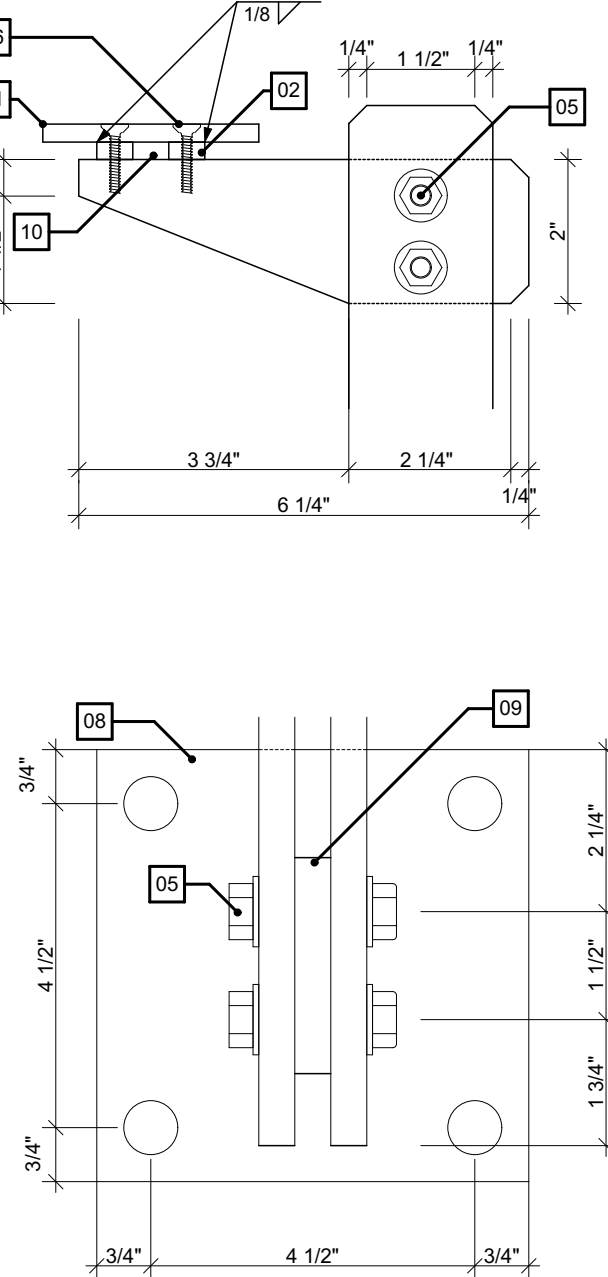
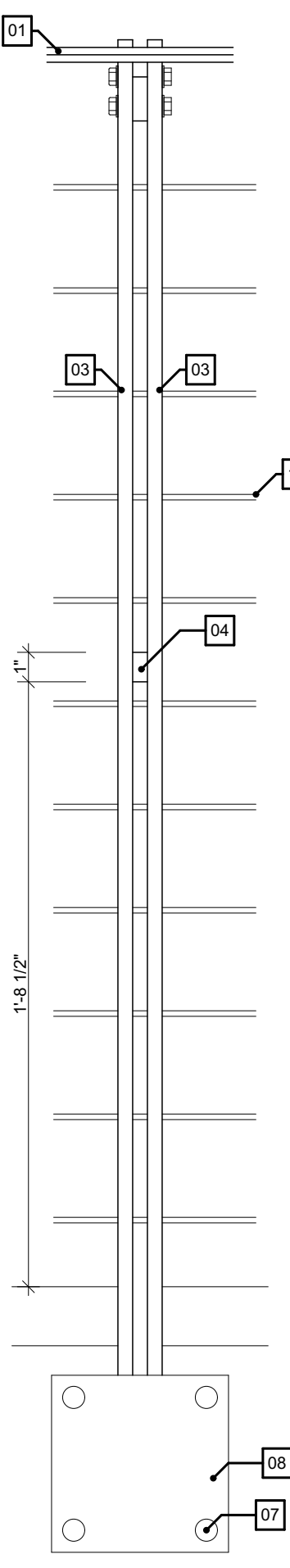
REAR VIEW



SIDE VIEW



FRONT VIEW



GENERAL NOTES -

- 51 ALL MATERIAL TO BE STAINLESS STEEL WITH BRUSHED FINISH

KEYNOTES -

- 01 1/4" X 3" RAIL
- 02 1/4" X 3/4" PLATE
- 03 3/8" X 2" PLATE
- 04 1/2" X 1" X 2" SPACER
- 05 1/2" THRU BOLT
- 06 #10 FLATHEAD MACHINE SCREW
- 07 Ø 3/4" HOLE TYP. FOR Ø 1/2" ANCHOR BOLT
- 08 1/4" X 6" X 6" PLATE
- 09 1/2" X 3" X 3 1/2" WITH 1/4" FILLET CORNERS
- 10 LED STRIP LIGHTING
- 11 UNO Ø 3/16" CABLE @ 3" OC MAX

STL-GUARD PLATE STL, CABLE

NOT TO SCALE

DATE: 5/11/2020

DATES	
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SCALE AS NOTED

CREATED BY: WDS

SHEET
ARCH DETAILS



7 GARAGE DRIVEWAY AND ENTRY



4 BIRDSEYE SW CORNER



7 FRONT DOOR INTERIOR



2 STREET SOUTHEAST



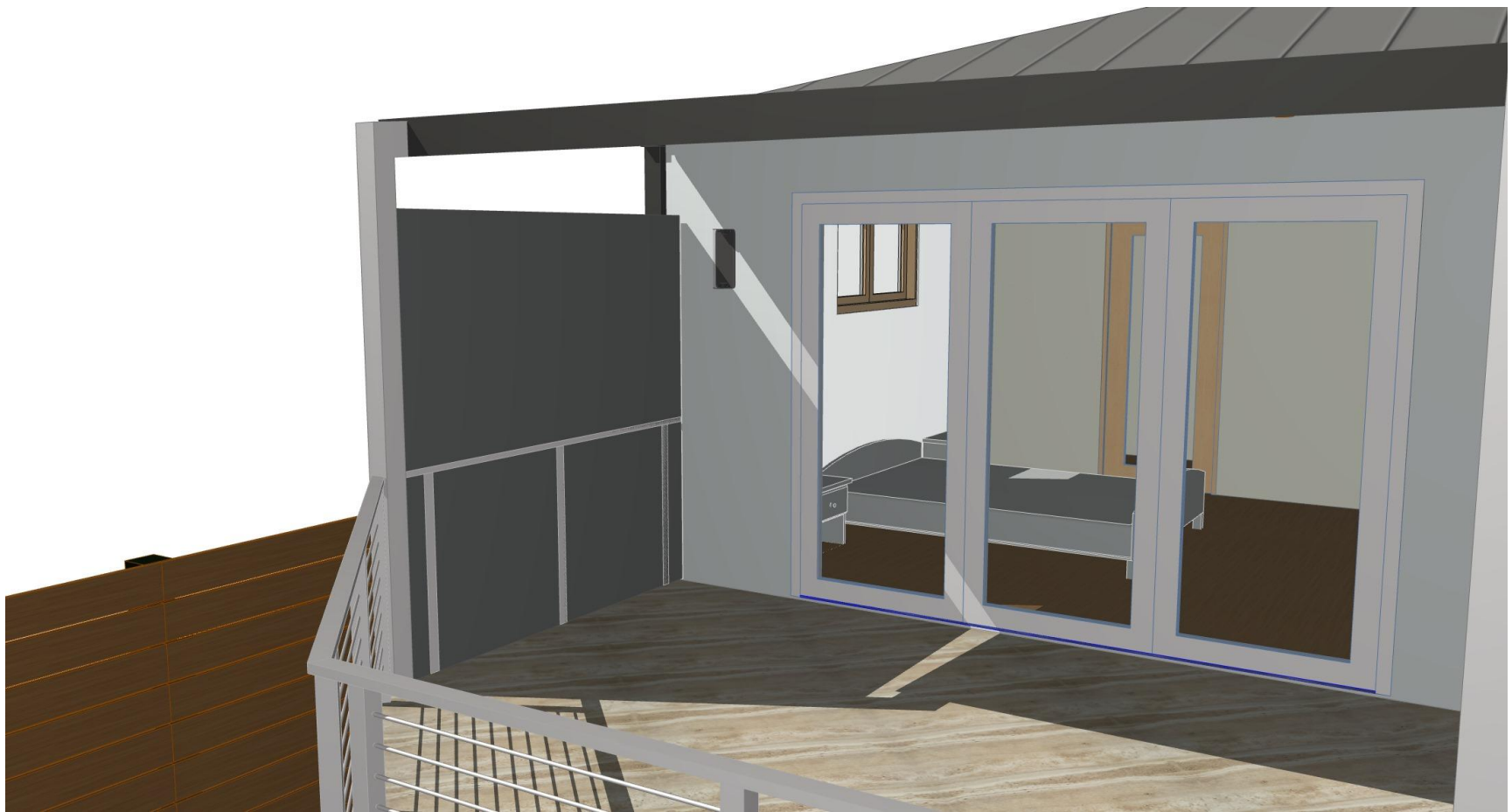
5 FRONT DOOR APPROACH



3 ENTRY GATE

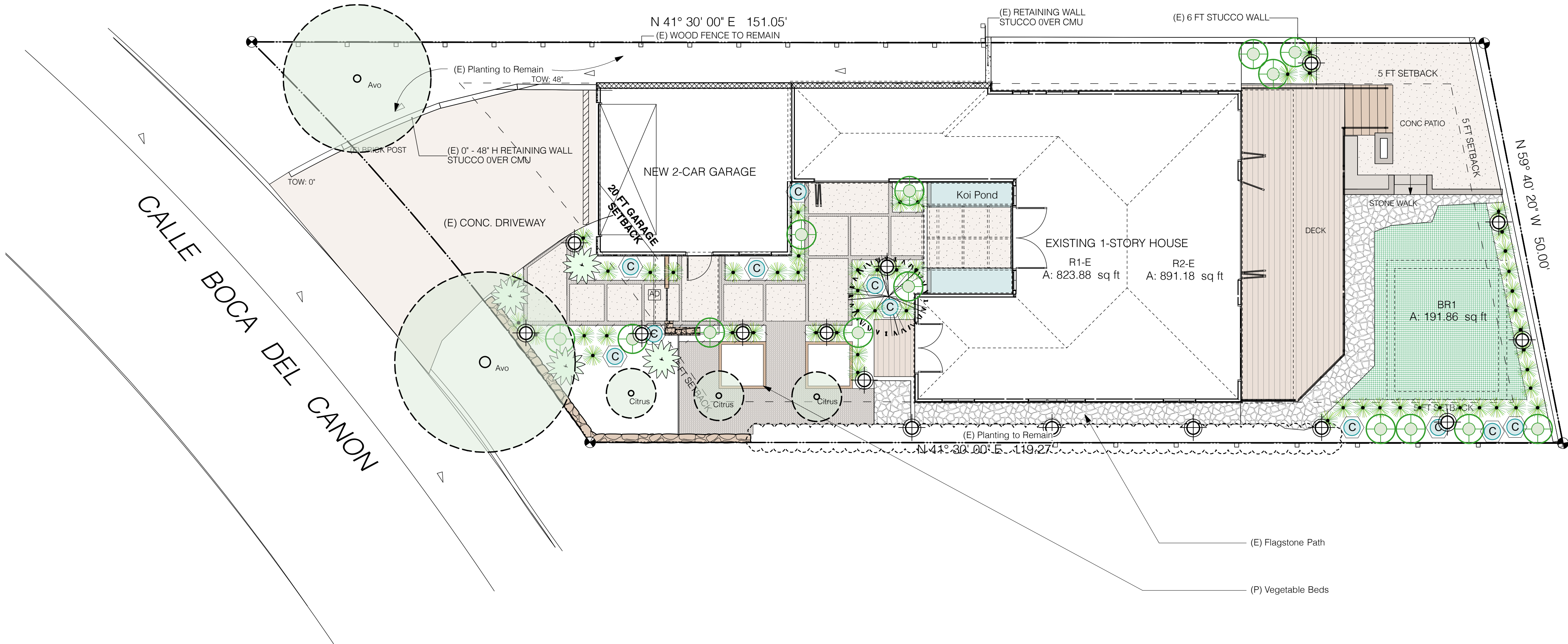


6 FRONT DOOR



9 REAR YARD NE CORNER

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Hardscape Legend

symbol	definition
	Concrete Paving, FINISH: Sandcast, COLOR: Natural
	Gravel Paving, COLOR: Grey Pea Gravel, Size: 3/8"
	Santa Barbara Sandstone Wall
	1/4" Steel Landscape Header

Plant Palette

Botanic Name	Common Name	Size	Quantity	WUCOLS
Trees & Large Shrubs				
<i>Aloe barbarae</i>	Tree Aloe	36" Box	2	Low
Shrubs & Perennials				
<i>Acacia cognata</i> 'Cousin Itt'	Cousin Itt River Wattle	5g	0	Low
<i>Agave desmettiana</i>	Smooth Agave	5g	0	Low
<i>Crassula 'Silver Dollar'</i>	Silver Dollar Crassula	5g	5	Low
<i>Lomandra 'Breeze'</i>	Breeze Basket Rush	15g	0	Med
Groundcovers				
<i>Agrostis pallens</i>	San Diego Bent Grass	sod	686 SF	Low

Abbreviations:

abbreviation	description
P.A.	Planting Area
(E)	Existing
(P)	Proposed
CONC.	Concrete
CMU	Concrete Masonry Unit

Lighting Legend

symbol	description	quantity	manufacturer	model
	pathlight	15	FX Luminaire	M-PL-ZDC-FB

Notes:
1. Wiring and transformer locations to be provided by Electrician.
2. Location of lights are diagrammatic. Final location to be set prior to installation by Landscape Designer.

SUBMITTALS

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1726 CALLE BOCA DEL CANON
SANTA BARBARA, CA

PROJECT:

SHEET CONTENTS
Preliminary Landscape Plan

DATE	05/05/20
SCALE	1/8" = 1'-0"
DRAWN	JH
JOB	20-12
SHEET	L-100
X OF 8	SHEETS